

ORDINANCE 25-17

AN ORDINANCE TO AMEND ORDINANCE NO. 22-24, BY AMENDING USE, DESIGN, AND DEVELOPMENT STANDARDS AND THEREBY BEING A TEXT AMENDMENT OF ORDINANCE 22-24

RZN 1827-2025 (LEGACY POINTE HEAVY RETAIL)

WHEREAS, the City of Spring Hill Ordinance No. 22-24 rezoned approximately 213 acres of property described herein, and known as, Maury County tax map 28, parcel 01600 and 01900 from C-5 and I-1 to Planned Development with a base zoning of C-5 (Commercial Mixed Use); and

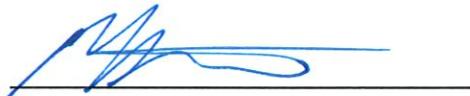
WHEREAS, Ordinance 25-17 amends previous use, design, and development standards established by the approval of Ordinance 22-24;

WHEREAS, the request has been found to meet the Approval Standards of Section 13.5.E.4.1 of the Unified Development Code; and

WHEREAS, the Spring Hill Municipal Planning Commission forwarded the request to the Board of Mayor and Aldermen on May 26, 2025, with a recommendation for approval.

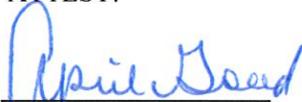
NOW, THEREFORE, BE IT ORDAINED BY THE CITY OF SPRING HILL, TENNESSEE, BOARD OF MAYOR AND ALDERMEN, WHILE IN REGULAR SESSION on June 16, 2025, amend Ordinance No.22-24, the same being rezoning request that approved approximately 213 acres of property described herein, and known as, Maury County tax map 28, parcel 01600 and 01900 from C-5 and I-1 to Planned Development with a base zoning of C-5 (Commercial Mixed Use) pursuant to Exhibit A; and

NOW, THEREFORE, BE IT FURTHER ORDAINED BY THE CITY OF SPRING HILL, TENNESSEE, BOARD OF MAYOR AND ALDERMEN, that all Ordinances or parts of Ordinances in conflict herewith are hereby repealed.



Matt Fitterer, Mayor

ATTEST:



April Goad, City Recorder

LEGAL FORM APPROVED:



Patrick Carter, City Attorney

Passed on First Reading: June 2, 2025

Passed on Second Reading: June 16, 2025

*Ordinance 25-17
June 16, 2025
Page 1 of 2*

EXHIBIT A

LEGACY POINTE PLANNED DEVELOPMENT PATTERN BOOK



REQUEST: Ordinance 25-17

SUBMITTED BY: Dara Sanders, Development Services Director

DATE: June 2, 2025

RE: Request to amend Legacy Pointe Planned Development

BACKGROUND:

Legacy Pointe (previously referred to as Spring Hill Crossings) Planned Development was approved on March 22, 2023. It has since had three approved revisions regarding phasing, conditions of approval, and use and bulk standards.

REQUEST:

The applicant requests to revise the PDP, to add Heavy Retail, Rental, and Service to the list of permitted uses, adding applicable standards to the architecture guidelines, and consolidating previously approved and proposed changes to the bulk standards into one approved table.

DISCUSSION:

This request results in the removal of a planned tennis center from the project, an increase in the project's commercial square footage, and a decrease in approved residential units and hotel rooms. This modification to the permitted uses and residential unit count is expected to substantially reduce the project's sewer impact on the City's sewer capacity.

Modifications to the architectural guidelines and bulk standards are intended to accommodate the form and function of a heavy retail development, such as reducing the percentage of glazing (windows and doors) on the building facade and permitting parking to be located between the street and the front of the building. Staff finds that these changes are contextually appropriate given the existing development form west of the project site and allow for a better transition from a typical suburban, auto-oriented commercial development form (from the west) to a suburban, pedestrian-oriented mixed-use development form (to the east).

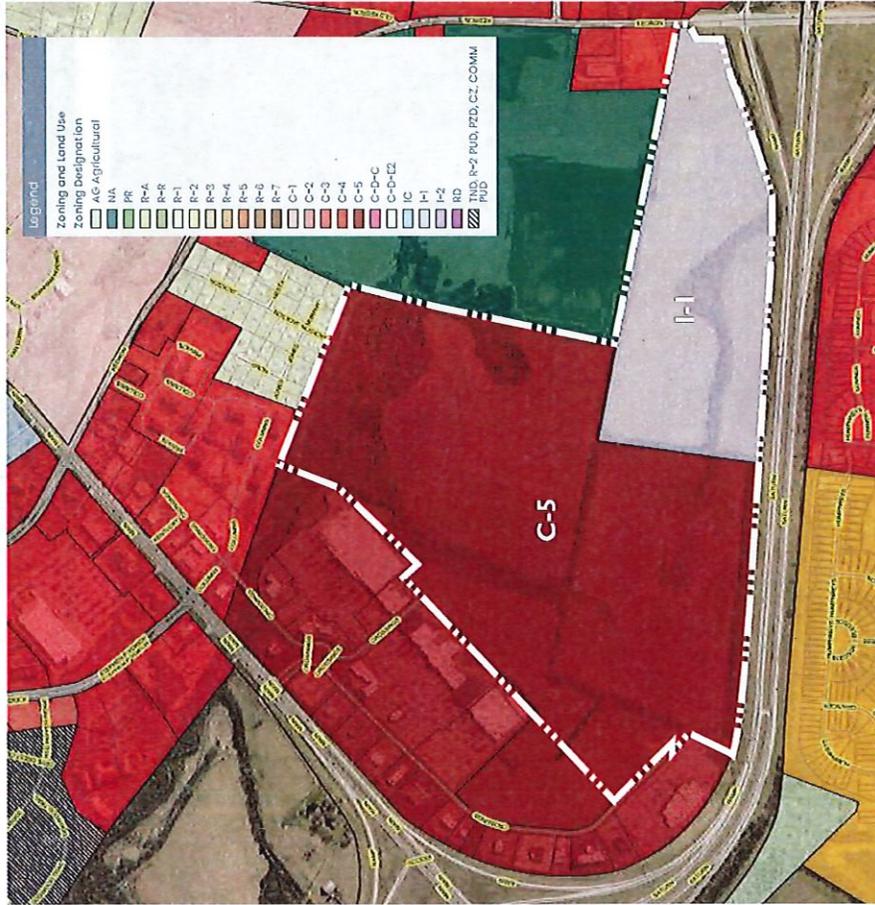
At their special meeting held on May 26, 2025, the Planning Commission forwarded this request to the BOMA with a recommendation for approval.



LEGACY POINTE

PLANNED DEVELOPMENT - PRELIMINARY PLAN

Pattern Book

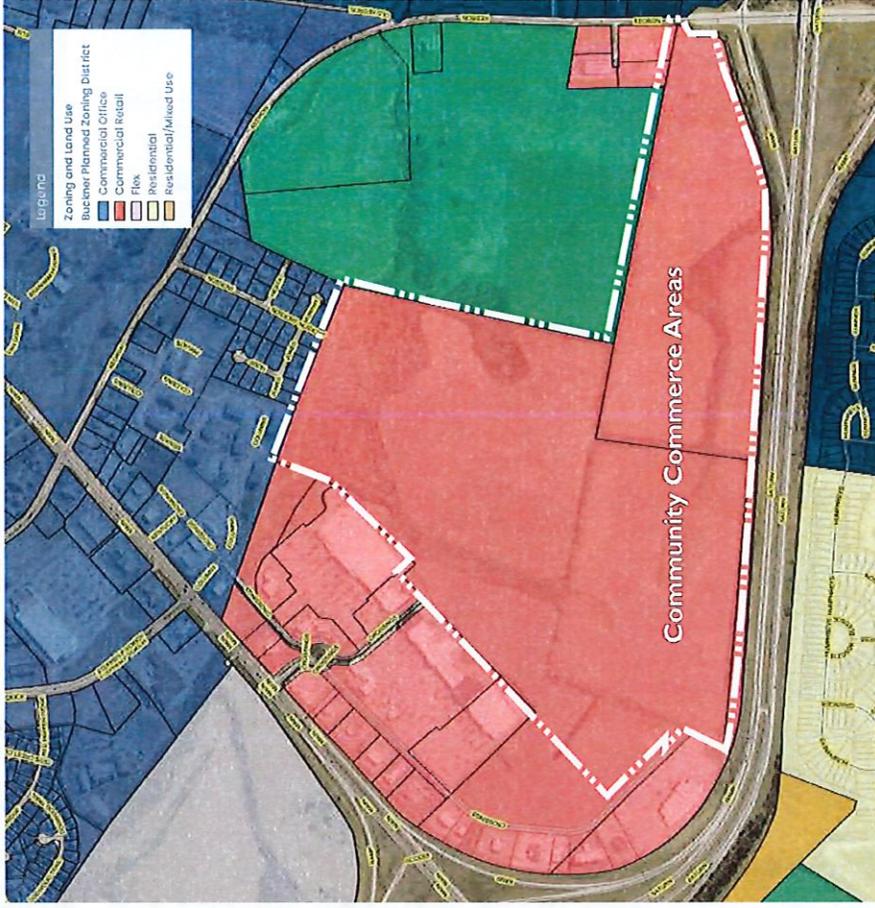


C-5 Regional Commercial District

The C-5 District is intended to provide for a wide variety of retail, personal service, entertainment, and offices that serve both the local and regional markets within larger-scale, auto-oriented developments that generate a sizable amount of traffic and a significant demand for off-street parking.

I-1 Light Industrial District

The I-1 District is intended to provide for a wide variety of light manufacturing, fabricating, processing, testing and scientific laboratories, wholesale distributing, and warehousing uses. Light industrial uses are enclosed, low-intensity, non-nuisance light fabrication and assembly-type manufacturing, as well as office and research and development facilities with little to no outside impacts.



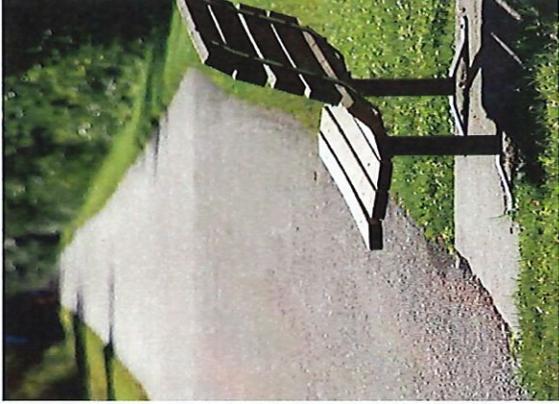
Community Commerce Areas

Community Commerce Areas provide regional commercial services for Spring Hill and our neighboring communities. The general development pattern is centered at, or in close proximity to, the major intersection with single use commercial, office, transportation, professional, and entertainment services. This is a primarily automobile oriented development form. Buildings have shallow to moderate setbacks and use landscaping to frame the street and screen large parking areas needed to serve intense, regional uses.

Primary future land uses include professional and regional offices, eating places, large-scale retail, municipal services, community centers, automobile related services (not to include wrecking, towing, and restoration), transportation hubs, and large-scale entertainment. Secondary land uses include multi-family development.

Commercial Uses - Primary
Amusement Facility – Indoor
Amusement Facility – Outdoor
Animal Care Facility – Small Animal
Art Gallery
Arts Studio
Bar
Broadcasting Facility TV/Radio - No Antennas
Car Wash
Day Care Center
Drive-Through Facility
Financial Institution
Gas Station
Healthcare Facility/Institution
Hotel
Live Entertainment - Secondary Use
Live Performance Venue
Medical/Dental Office
Micro-Brewery/Distillery/Winery
Office
Outdoor Dining
Parking Lot (Principal Use)
Parking Structure (Principal Use)
Personal Service Establishment
Public Park
Reception Facility
Restaurant
Retail Goods Establishment
Retail Liquor Store
Specialty Food Service
Winery
Heavy Retail

Residential Uses - Primary
Community Center
Community Garden
Conservation Area
Dwelling – Above the Ground Floor
Dwelling – Accessory Dwelling Unit: (900sf or Less in GFA)
Dwelling – Accessory Dwelling Unit: (901sf or More in GFA)
Dwelling - Multi-Family
Dwelling – Townhouse
Dwelling - Single-Family
Dwelling - Two-Family
Temporary Uses
Farmers' Market
Mobile Food Sales
Real Estate Project Sales Office/Model Unit
Temporary Outdoor Entertainment
Temporary Outdoor Sales
Special Considerations
<p>Places of Worship - Places of worship allowed as an accessory use in buildings that have another primary function and as outdoor special event</p> <p>Special Events - Special events, as defined by the city of spring hill are permitted on the plaza and at the boulevard areas. For Spring Hill Crossings, Temporary Outdoor Entertainment and Temporary Outdoor Sales may include Live Music events, Farmers Markets, Food Trucks, Art and Craft Vendors/Fairs, and Worship Services. The inclusion of these permitted uses does not circumvent any event permits that may be required by code.</p> <p>Self-Storage Facility (Enclosed) - Allowed when adjacent to Western property line when behind existing large-scale commercial; Be required to meet the high-quality architectural standards proposed for Spring Hill Crossings as set forth in the architectural guidelines of pattern book</p>



Open Space Narrative:

Recreational Area: 17.39 AC

- Amenities:
 - o Multi-Use trail
 - o Benches
 - o Stake and Rider Fence
 - o Interpretive Signage along trail

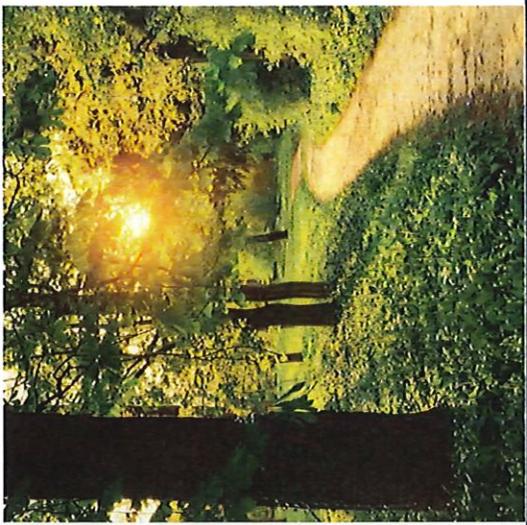
Open Space: 37 AC (minus Public Park)
 - Includes: stream buffers & stormwater areas

Total Open Space Preserved: Approx. 54 AC

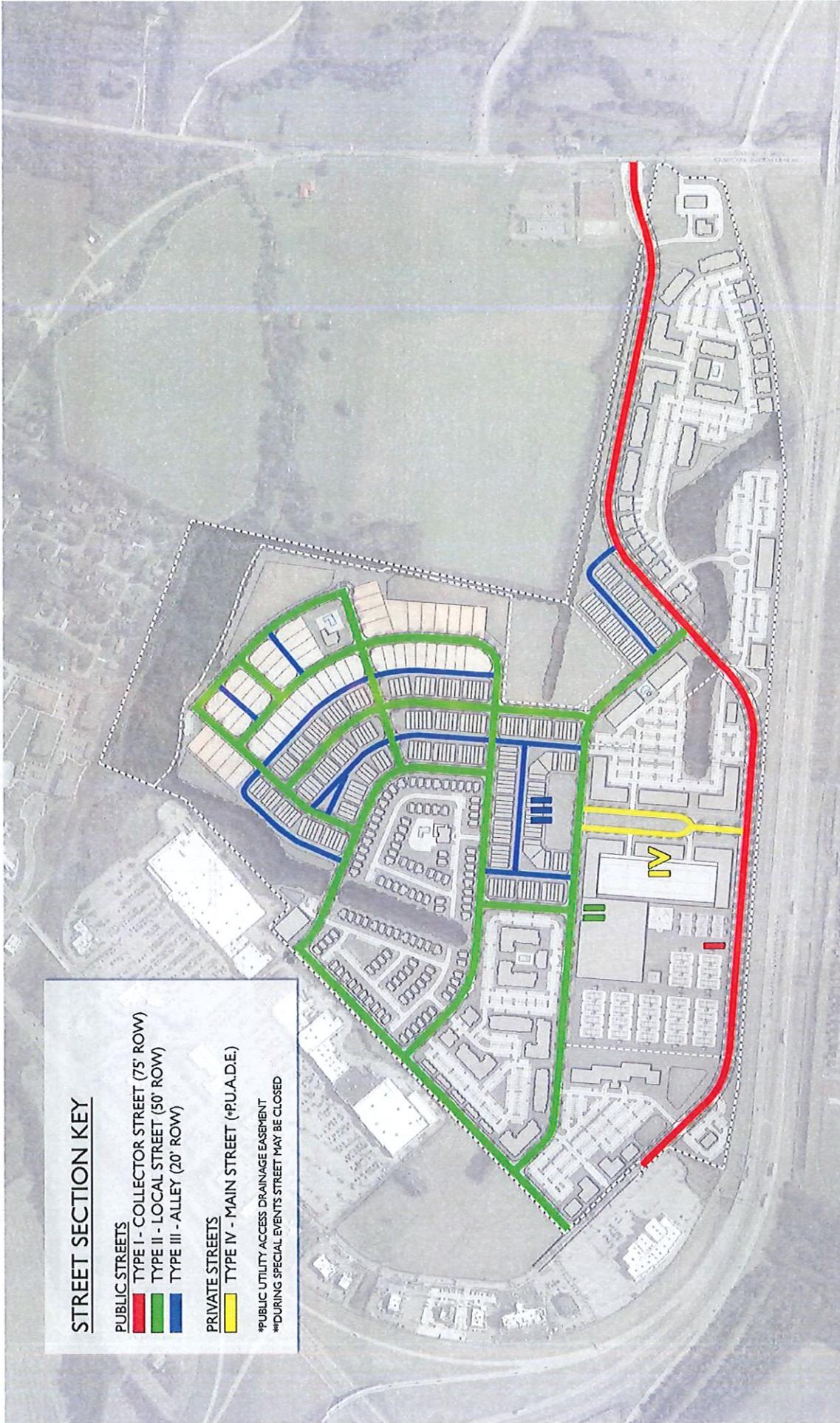
Neighborhood Amenities:

- Multiple potential pool sites
- Multiple Clubhouses
- Walking trails
- Multiple Potential playground sites
- USTA Tennis Courts
- Walking distance to Retail/Commercial
- Expansive pedestrian network including sidewalks, multi-use trails, and bike lanes

PROPOSED AMENITIES: GREENWAY TRAIL & BENCHES



RECREATIONAL AREA CHARACTER



STREET SECTION KEY

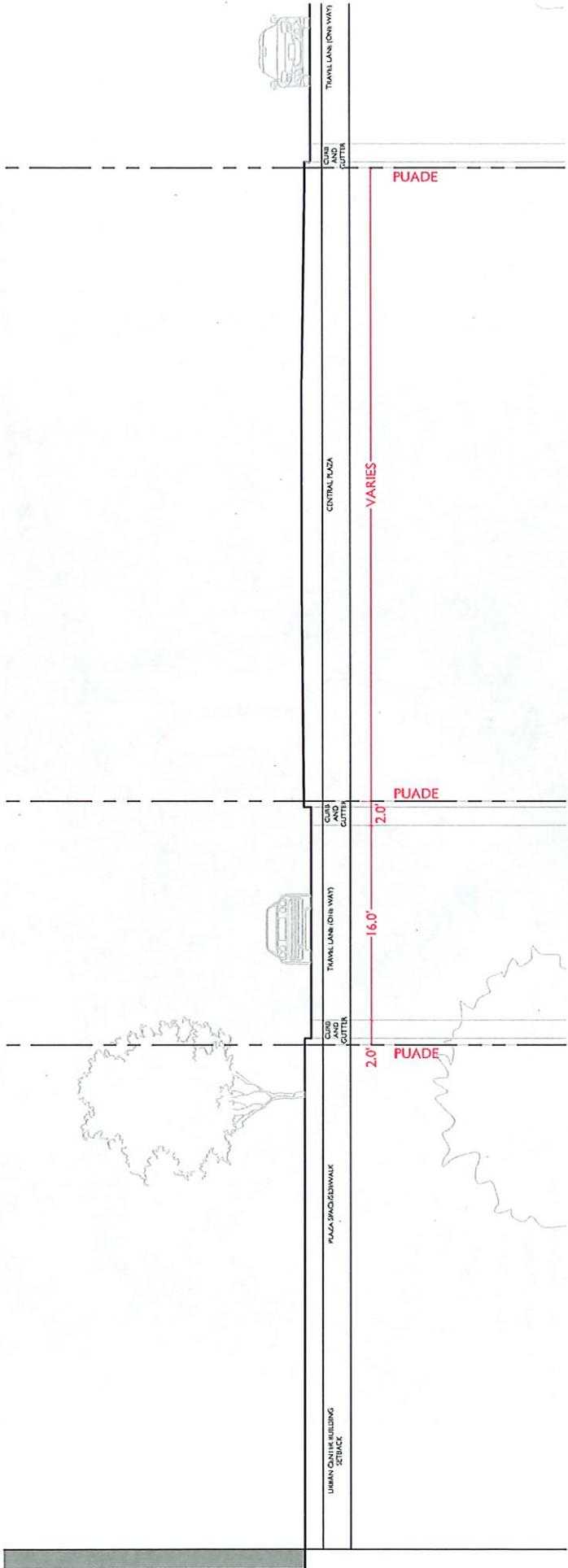
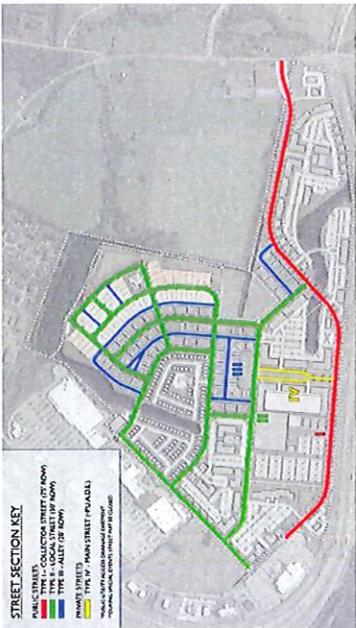
PUBLIC STREETS

- TYPE I - COLLECTOR STREET (75' ROW)
- TYPE II - LOCAL STREET (50' ROW)
- TYPE III - ALLEY (20' ROW)

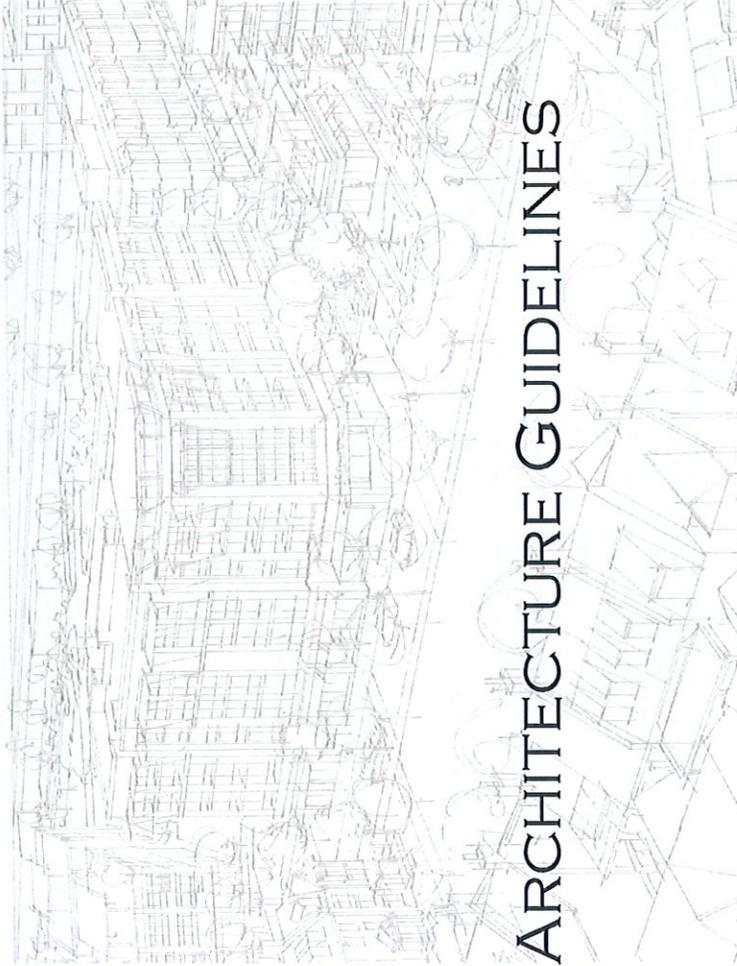
PRIVATE STREETS

- TYPE IV - MAIN STREET (P.U.A.D.E.)

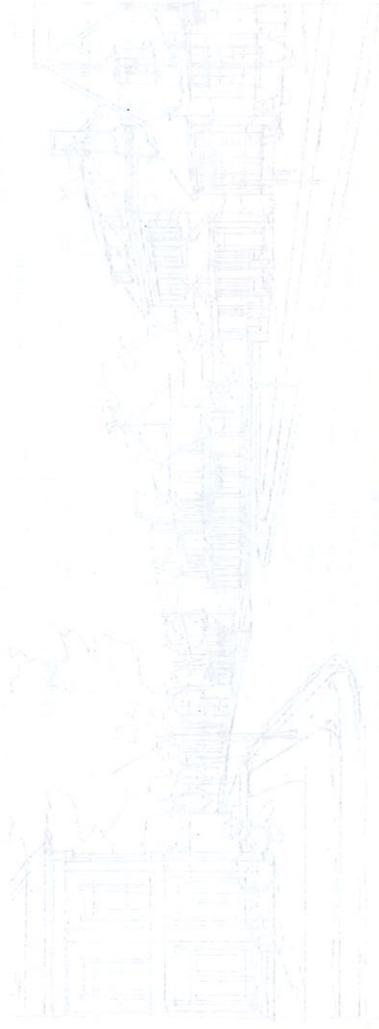
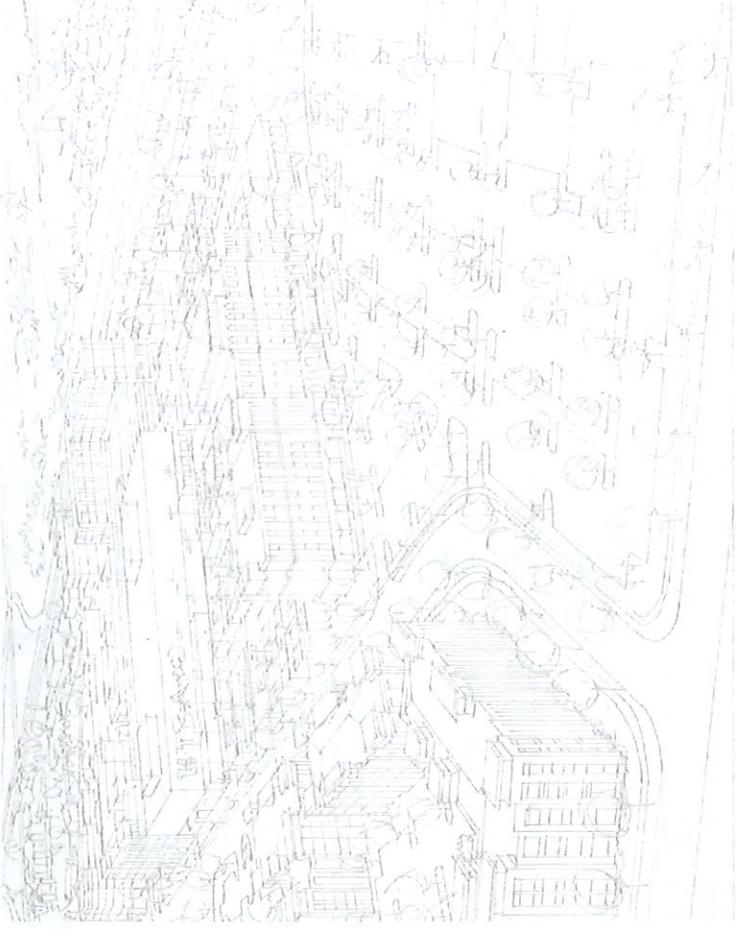
*PUBLIC UTILITY ACCESS DRAINAGE EASEMENT
 **DURING SPECIAL EVENTS STREET MAY BE CLOSED



MAIN STREET (PLAZA BLVD) - PRIVATE STREET WITH A PUAE EASEMENT



ARCHITECTURE GUIDELINES



Heavy Retail, Rental and Service Standards

The following design standards apply to new construction, substantial repair or rehabilitation meant to remedy damage or deterioration of the exterior façade of an existing structure.

Bulk Standards

Heavy Retail, Rental, and Service uses shall comply with the Commercial (Stand-alone) Bulk Standards listed here in.

Façade Design

Building façades in excess of 100 feet must include no less than two of the following elements: color change, texture change, material module change, or a wall articulation change of no less than 12" in depth, such as a reveal, pilaster, or projecting rib, to visually break up the massing of the ground floor into segments of no more than 50 feet.

Vents, air conditioners, and other utility elements are prohibited as part of a front or corner-side façade, except where such elements are enclosed, camouflaged, screened, obscured, architecturally integrated into the façade, or otherwise not readily apparent to a casual observer. Building materials and visual elements used on the primary building frontage must continue on all building façades.

Window Design

The Primary Building Façade must maintain a minimum of 5% transparent glass and / or spandrel glass, measured between at minimum two and 20 feet in height from grade.

Door and window framing systems color should complement the overall design of the building.

Roof Design

Parapet walls must feature three-dimensional cornice treatments or other shadow-creating details along their tops at intervals of no less than 75 feet.

Mechanical equipment on roofs must be screened from view from all sides by the use of parapet walls and/or architecturally integrated screen elements of equal or greater height.

Site Elements

Parking is allowed between the front building façade and the front lot line, and between the corner side façade and the corner side lot line.

Site elements, such as furniture, amenities and public spaces are encouraged within a site and contribute to create authentic sense of place and enhance the visitor's experience.

When provided, trash receptacles must be coordinated and made of metal, wrought iron, stone or other durable material.

Pedestrian sidewalk must be provided from the primary entrance to the public right of way and must connect to a sidewalk in the right of way of the public street.

Fences must be metal picket with a maximum height of 6 feet.

Parking lot design and landscaping shall meet the City of Spring Hill's requirements.

Prototype Design

Prototype designs must reflect these design standards and be compatible with the site's immediate surroundings.

Building Materials

The following building materials are prohibited as a primary surface finish material on any façade but may be used as decorative or detail elements for up to 30% of any one façade (calculated in the aggregate):

Corrugated metal

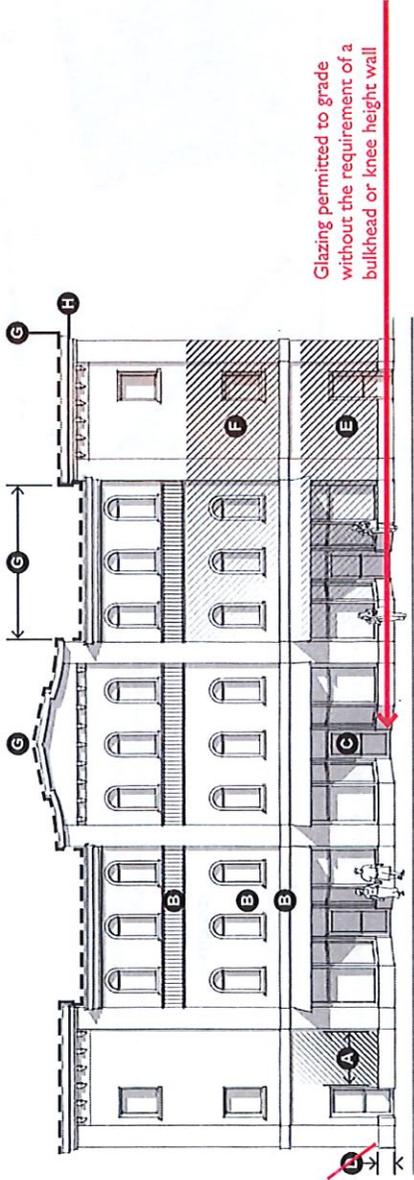
Metal Panels

Exposed aggregate (rough finish) concrete wall panels

T-111 composite plywood siding

Vinyl (limited use on soffits and eaves is subject to city approval)

Exterior insulating finish systems (EIFS)



Glazing permitted to grade without the requirement of a bulkhead or knee height wall

A Street abutting building façades must not contain blank wall areas that exceed 15 linear feet, measured parallel to the street.

B Street abutting building façades in excess of 100 feet must include a repeating pattern with no less than two elements, such as color change, texture change, material module change, or articulation of no less than ~~two~~ 12 feet in depth, such as a reveal, pilaster, or projecting rib. Elements must repeat at an interval of ~~40 to 60~~ 50 feet.

C All buildings must have a public entrance from the sidewalk along the primary building frontage. Ground floor entrances must be visually distinctive or prominent on the building façade. Ground floor building entrances may be recessed no more than six feet ~~from the required front building zone~~ and must be no wider than ten feet. ~~A building entrance must be provided at an interval of no less than one every 40 feet.~~

D ~~A bulkhead or knee height wall a minimum of 48 inches and a maximum of 24 inches in height is required along any street abutting façade.~~

E ~~In the C-D-E District, the ground floor must maintain a minimum transparency of 50%, measured between a minimum two and ten feet in height from grade.~~

F ~~In the C-D-E1 and C-D-E2 Sub-Districts, the ground floor must maintain a minimum transparency of 50%, measured between at minimum two and ten feet in height from grade.~~

G Upper stories must maintain a minimum transparency of 25% of the wall area of the story.

H Rooflines over 100 linear feet in building length must be variegated, and incorporate a major focal point feature, such as a dormer, gable, or projected wall feature. An element of variegation on the roofline must occur at intervals of no more than 75 linear feet.

I Parapet walls must feature three-dimensional cornice treatments or other shadow-creating details along their tops at intervals of no less than 75 feet.

Mechanical equipment on roof must be screened from view from all sides by the use of parapet walls of equal or greater height or by the use of architecturally integrated building elements of equal or greater height.

contiguous but must be centrally located and incorporated into the site plan as a primary design feature. Multi-family developments must be sited to maximize opportunities for creating usable, well-integrated common spaces.

iii. Lighting must be provided as needed for active recreation areas within common open spaces to provide visual interest at night and additional security

iv. Common outdoor spaces should not be located adjacent to dumpster enclosures, loading/service areas, or other incompatible uses unless site constraints allow no other alternative.

v. If common outdoor spaces are located adjacent to a street right-of-way, landscaping must be used to provide a buffer that screens the view between the space and the right-of-way.

vi. The following active and passive open space uses are counted as common open space:

- (A) Natural water features, wetlands, and conservation areas. This includes required buffers from natural resources that are not included as part of a private lot.
- (B) A trail system connecting open space areas or greenways. This includes hiking, biking, and equestrian trails. Where feasible, any trail system or greenway must connect and provide access to the proposed bicycle and greenway network, as shown in the Bicycle and Greenway Plan.
- (C) Recreational facilities containing hardscape or impervious surfaces such as swimming pools, tennis courts, and skate parks.
- (D) Parks and playgrounds.
- (E) Greenhouses and community gardens.
- (F) Reuse of structures existing on the site prior to development for community purposes (i.e. rehab of an existing barn or silo for the use of the residents, etc.)
- (G) On-site stormwater management facilities may be used to meet up to 30% of the required common open space amount provided such areas or facilities to be counted as common open space are accessible and usable as community amenities by the residents of the development (e.g. viewing platforms, seating/picnic areas, ponds for fishing and/or boating, etc.).

vii. Multi-family developments larger than five acres in gross area must provide a minimum of one formal recreational facility. Formal recreational facilities include, but are not limited to, clubhouses or community rooms, swimming pools, tennis courts, and playgrounds. This is included in the required amount of common open space.

d) Common facilities for townhouse and multi-family developments such as clubhouses and swimming pools must be located a minimum of 30 feet from any lot line.

2. Design Standards

Review for compliance with these design standards is conducted by the Design Review Commission, or the Planning Commission if the City has designated the Planning Commission the role of Design Review Commission. The Design Review Commission may modify any of these design standards for a development under review, including a determination that a design standard may be waived in its entirety.

a) Facades must be designed with consistent materials and treatments that wrap around all facades. There must be a unifying architectural theme for the entire multi-family or townhouse development, utilizing a common vocabulary of architectural forms, elements, materials, or colors in the entire structure.

b) Building facades must include windows, projected or recessed entrances, overhangs, and other architectural features. Three-dimensional elements, such as balconies and bay windows, are encouraged to provide dimensional elements on a façade.

c) Building forms must be tailored to fit within the existing topography of the site and other site features specifically existing trees and vegetation.

d) Development sites with multiple buildings must incorporate a strong visual relationship between buildings. A consistent architectural style or theme should be used throughout.

e) The following building materials are prohibited on any façade.

- i. The following building materials are prohibited on any part of any façade:
 - (A) Plain concrete block
 - (B) Plastic

ii. The following building materials are prohibited as a primary surface finish material on any façade but may be used as decorative or detail elements for up to 30% of the façade

- (A) ~~Corrugated metal~~
- (B) ~~Aluminum, steel or other metal sidings~~
- (C) Exposed aggregate (rough finish) concrete wall panels (30%)
- (D) T-111 composite plywood siding (30%)
- (E) Vinyl (30%)
- (F) Exterior insulating finish systems (EIFS) (30%)

iii. In selecting exterior building materials, consideration should be given to the appropriateness of the materials to the scale of building proposed. The dimensional size of the material should relate to the size of the building. For example, a traditional size brick should be used on smaller buildings, with consideration being given for larger brick sizes on larger-scaled buildings

f) All buildings must provide an orientation to and have a public pedestrian entrance from ~~the highest street classification that the lot fronts~~ public streets, private drives, and/or open spaces. Public entrances must be visually

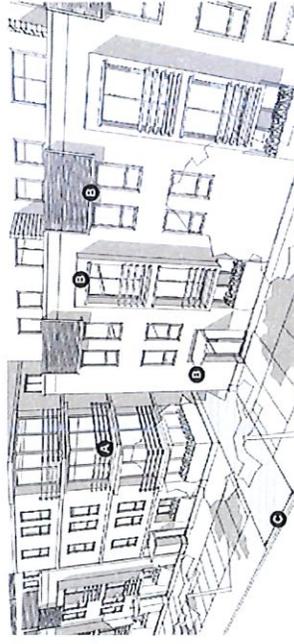
distinctive from the remaining portions of the façade along which they are located.

Where proposed PDP development abuts existing commercial uses along the western PDP Boundary, new development is not required to front to this direction. Building sides or rears are permitted to front this direction. Additionally, a 5' landscape strip and privacy fence are an appropriate frontage in this direction.

g) For a townhome use direct vehicular access to public streets shall only be allowed with local roads, with Planning Commission approval and only when the Planning Commission is assured that such access will not adversely affect traffic flow and public safety.

h) For a multi-family use parking shall be accessed via a driveway. Individual parking spaces may not be adjacent to or back into a public street, except for parallel parking.

MULTI-FAMILY/TOWNHOUSE DWELLING



10 feet

Minimum separation of sidewalk.

A Consistent materials and architectural treatments must wrap around all street facing facades. The entire townhouse or multi-family development must have a unifying architectural theme.

B Building facades must include windows, projected or recessed entrances, overhangs, and other architectural features to provide dimensional elements on a façade.

C

Minimum separation of sidewalk between building

Mechanical equipment on roof must be screened from view from all sides by the use of parapet walls of equal or greater height or by the use of architecturally integrated building elements of equal or greater height.

Legacy Pointe Planned Development – Residential Design Standards (CONTINUED)

M.Dwelling – Two-Family or Three-Family

1. Siting Standards

Siting standards are reviewed by the Design Review Commission but cannot be modified or waived by the Commission. Siting standards may only be modified by a variance.

- a) Front-loaded attached garages are limited to 40% of the width of the front building line or 28 feet, whichever is greater. Garage width is measure between garage doors; in the case of garages designed with multiple garage doors the distance is measure between the edge of the outmost doors.
- b) Buildings constructed on a concrete slab must be elevated a minimum of one foot from finished grade unless the residence is built to be ADA compliant and should be built to standards under ADA guidelines.
- c) A dwelling must have a primary entrance from the façade facing the street, a private drive, or an open space. Multiple entries may be allowed on two and three family residences and should front one of the aforementioned conditions. The front entry must be a dominant feature on the front elevation of a home and an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front façade.

2. Design Standards

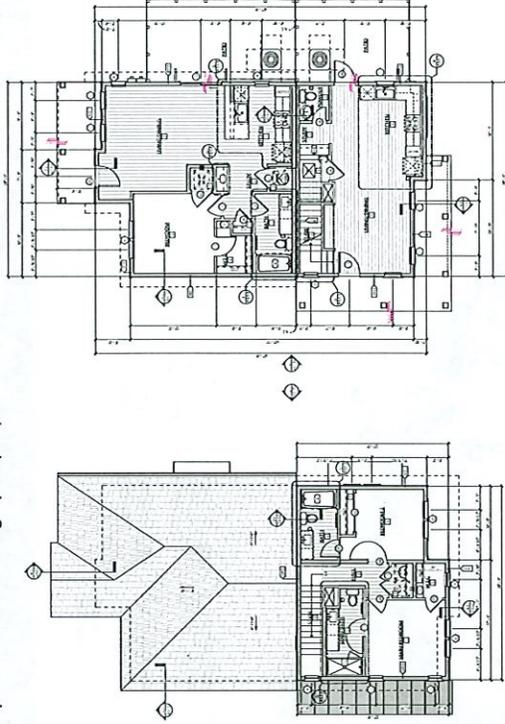
Review for compliance with these design standards is conducted by the Design Review Commission, or the Planning Commission if the City has designated the Planning Commission the role of Design Review Commission.

The Design Review Commission may modify any of these design standards for a development under review, including a determination that a design standard may be waived in its entirety.

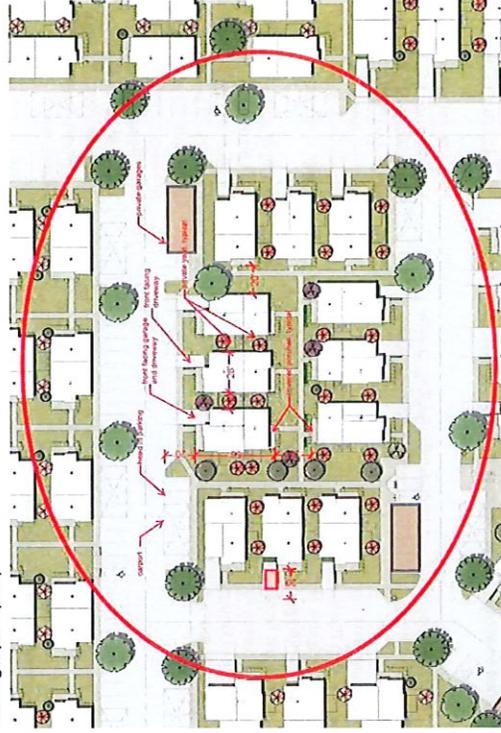
- a) Windows, entrances, porches, or other architectural features on habitable structures are required on all street-facing facades to avoid the appearance of blank walls. This requirement does not apply to garage facades.

- b) Concrete block foundations on a two-family home must be covered with a permanent durable material, such as brick, stone, or split face block.

Conceptual Floor plans for Duplex (Front to back: Fronting public road/private drive and fronting Open Space)



Conceptual Layout Example for Duplex (Front to back: Fronting public road/private drive and fronting Open Space)



11.8 BUFFER YARDS

This section establishes standards for the dimension and required landscape for buffer yards between land uses and/or zoning districts within the rear or interior side yard. Nothing in this section prevents the applicant's voluntary installation of buffer yards where they are not required.

A. As of the effective date of this Code, buffer yards are required for new construction along interior side and rear yards in the following cases: Buffer yards are required based on illustration BY.25.

1. Where a multi-family dwelling abuts a single-family, two-family or townhouse dwelling.
2. Where a non-residential use is located within a residential district. This does not include public parks.
3. Where a non-residential district abuts a residential district. This does not include the C-D, OS, or NA Districts or public parks.

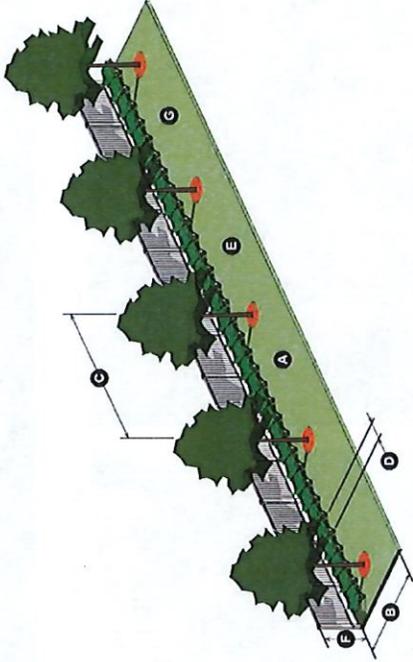
B. A buffer yard is required for Legacy Pointe, based on illustration BY.25, where a new major residential subdivision, as defined in Article 17, abuts an existing non-residential development. In such case the buffer yard is required along the lot line that abuts the non-residential use. The buffer yard is considered common open space (does not belong to a private owner) and must be excluded from any individual lot area calculations.

C. Buffer yards may be located within required setbacks, but must be reserved for the planting of material and installation of screening as required by this section. No parking, driveways, sidewalks, accessory structures, or any impervious surfaces are permitted within the buffer yard area.

D. The required design of buffer yards is as follows:

1. A buffer yard must be a minimum of 15 feet in width.
2. One shade or evergreen tree must be planted for every 25 linear feet of buffer yard length. As part of the landscape plan approval, trees may be spaced at various intervals based on specific site requirements, but the total number of trees planted must be no less than one per 25 linear feet of buffer yard length.
3. Existing trees may count toward the buffer yard tree requirement. This credit is a 1:1 ratio (one existing tree for one proposed tree) regardless of the size of the existing tree.
4. One evergreen shrub must be planted for every three linear feet of buffer yard length, spaced linearly. As part of the landscape plan approval, shrubs may be spaced at various intervals based on specific site requirements, but the total number of shrubs planted must be no less than one per three linear feet of buffer yard length.
5. 60% of the landscape area outside of shrub and tree masses must be planted in live groundcover, perennials, or ornamental grasses. Stone, mulch, or other permeable landscape materials are required for any remaining area.
6. Unless otherwise specifically required by the use standards of this Code, a solid fence or wall, constructed of wood or simulated wood posts and planks, brick, masonry, or stone, and a minimum of six feet and a maximum of eight feet in height must be erected along 100% of the buffer yard length, with the exception of ingress/egress points. If constructed on a berm, the height of the berm is included and the maximum height of fence and berm is eight feet. When a new major residential subdivision requires a buffer yard, this screening fence or wall may be substituted with an evergreen hedge, subject to landscape plan approval. Further, if existing mature trees provide screening of the same level can be substituted for a fence or wall, to be determined at landscape plan approval.

BUFFER YARD

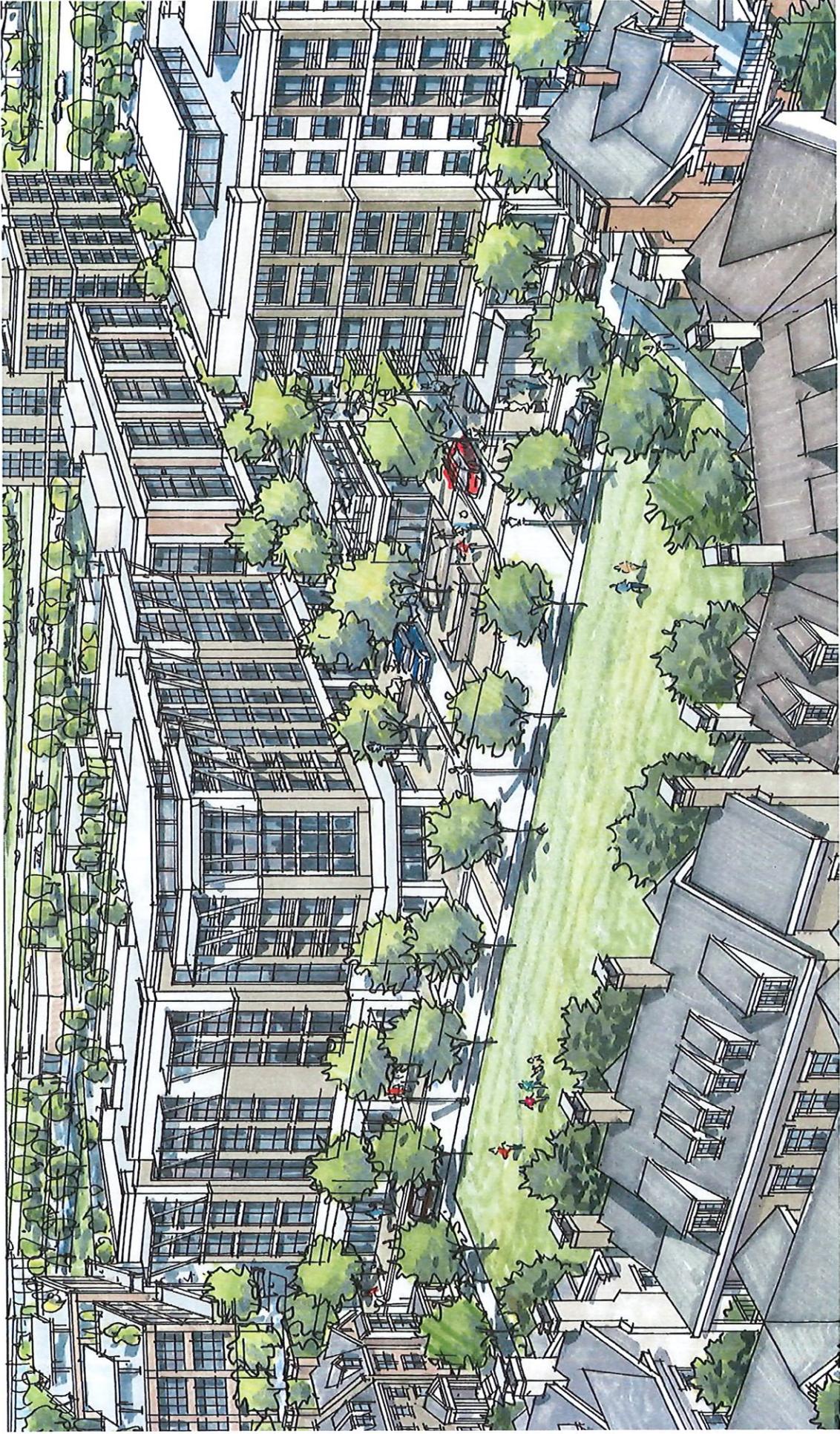


- A** Reserved for the planting of material and installation of screening as required by this section.
- B** Minimum of 15 feet in width.
- C** Shade or evergreen trees planted one per 25 linear feet.
- D** Evergreen shrubs planted one per three linear feet.
- E** 60% of the landscape area planted in live groundcover, perennials, or ornamental grasses.
- F** Solid fence or wall at a minimum of six feet and a maximum of eight feet in height erected along 100% of the buffer yard length.
- G** Only lawn grass or other resilient groundcover may be located within a utility easement.



Illustration BY.25
Buffer yard between land uses locations are shown on the map. The areas shown in yellow would require the zoning buffers and shall conform to the standards set forth in 11.8 Buffer Yards.

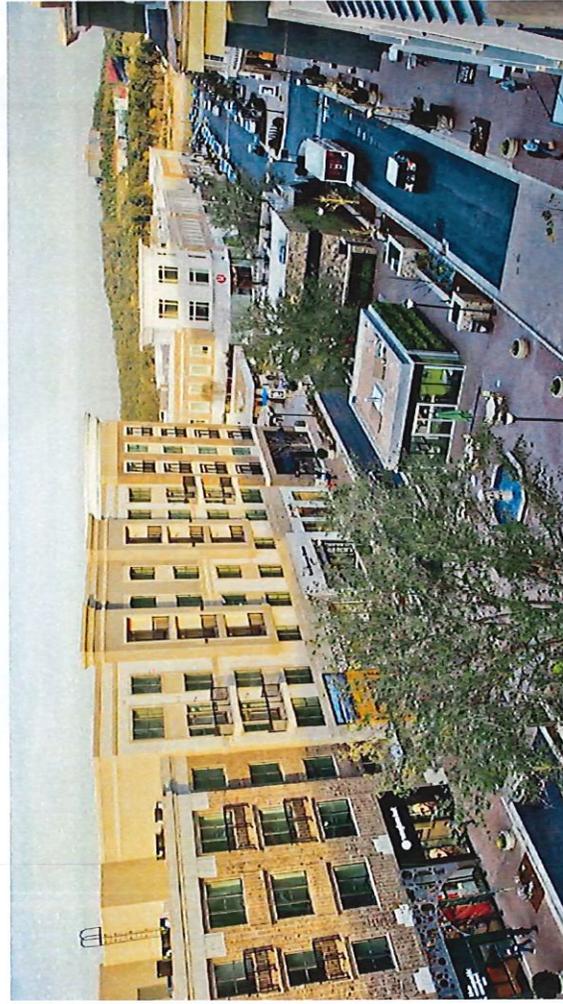
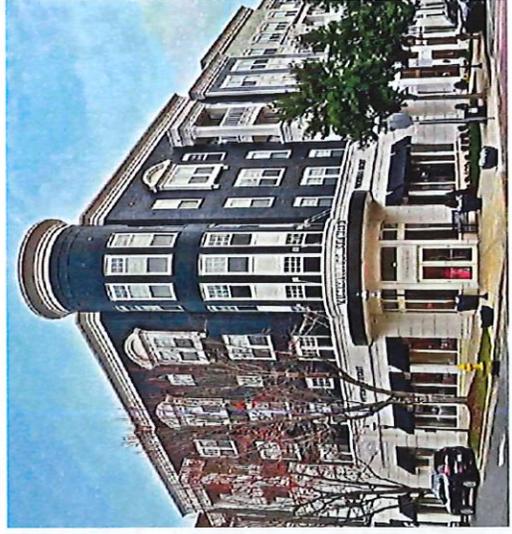
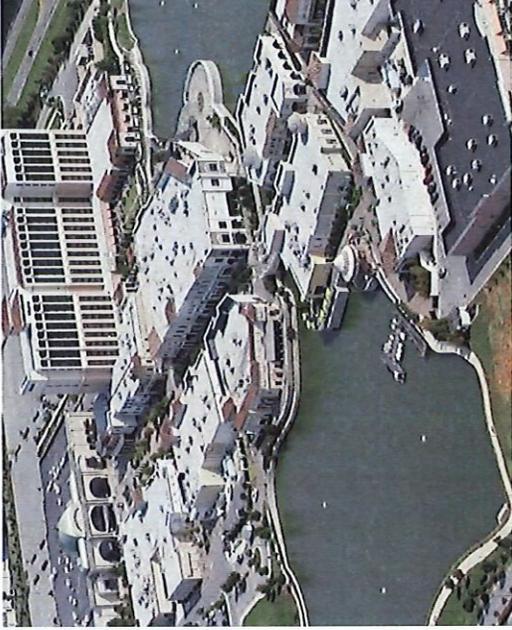
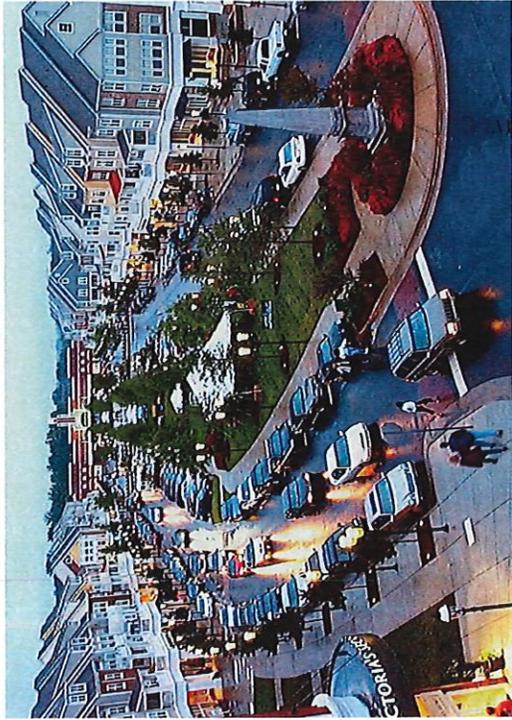
[PAGE LEFT BLANK INTENTIONALLY]





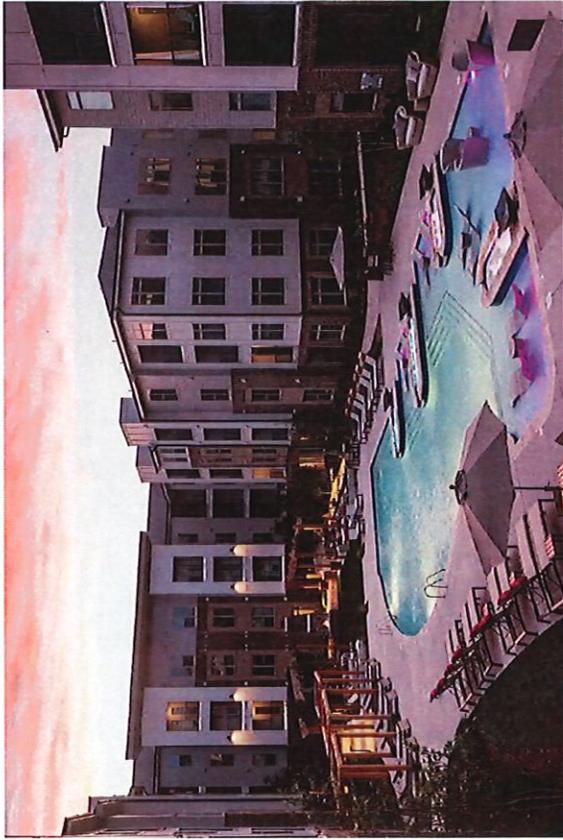
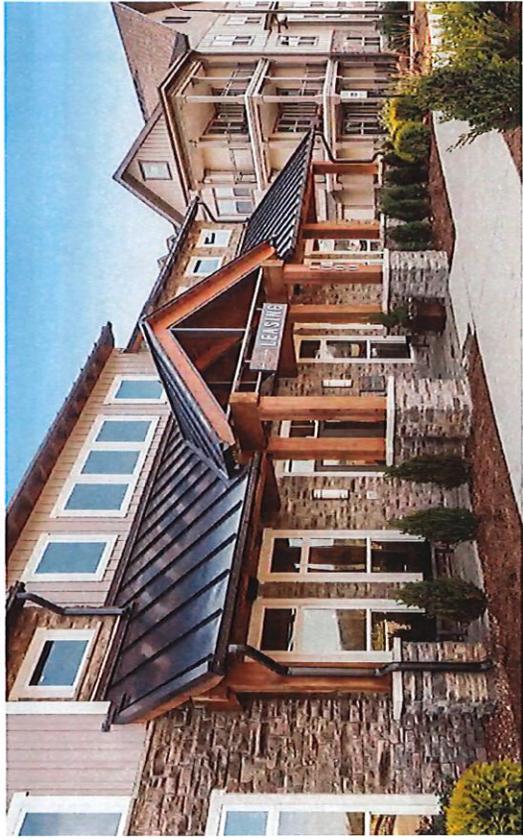


MIXED - USE CENTER



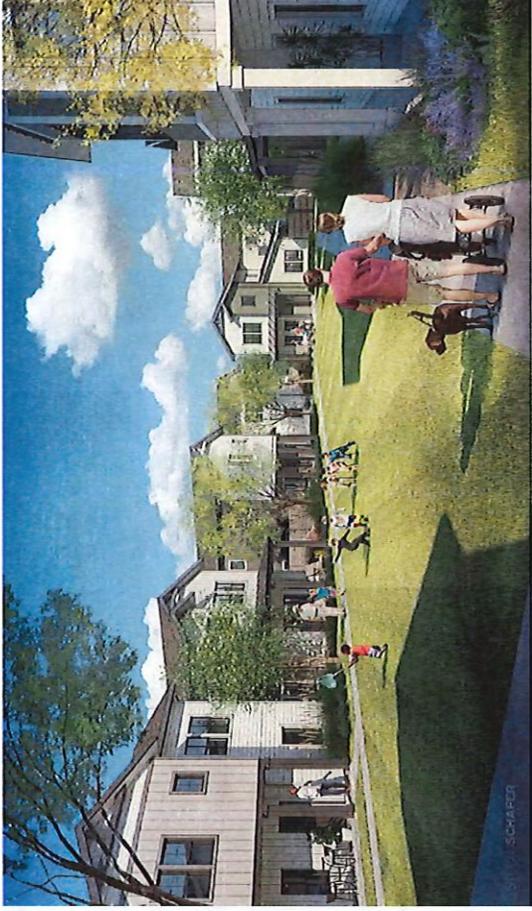
ARCHITECTURAL CHARACTER

MULTI - FAMILY



ARCHITECTURAL CHARACTER

RESIDENTIAL (SINGLE-FAMILY, TOWNHOMES, DUPLEX)



ARCHITECTURAL CHARACTER