



CITY OF SPRING HILL
BOARD OF MAYOR AND ALDERMEN
REGULAR MEETING PACKET
MONDAY, AUGUST 15, 2016
7:00 P.M.

Board of Mayor and Aldermen:

Rick Graham, Mayor

Bruce Hull, Jr., Vice-Mayor

Jonathan Duda

Matt Fitterer

Keith Hudson

Chad Whittenburg

Kayce Williams

Amy Wurth

Susan Zemek

City of Spring Hill
P.O. Box 789
Spring Hill, TN 37174

Phone 931.486.2252
Fax 931.486.0516
www.springhilltn.org

BEER BOARD

**CITY OF SPRING HILL
BEER BOARD AGENDA
MONDAY, AUGUST 15, 2016
7:00 P.M.**

Call Meeting to Order

Stipulation of Aldermen present

Concerned Citizens

1. Consider request from Highland Corporation for Fast Stop Markets, 2100 Wall Street, Spring Hill, TN, for an on premise beer permit. (This business currently has an off-premise permit and would like both.)

Adjourn

BEER PERMIT CHECKLIST

Name and Address of Beer Applicant:

Highland Corporation, d/b/a Fast Stop Markets

2100 Wall Street

Spring Hill, TN 37174

Departments: Answer, Initial, and Date

Distance to/from Nearest School: **2,400 Feet (Longview Elementary)**

Background check completed by Police Department: **08/03/2016**

Correct Zoning Verified: **B-4 (Per B. Turnbow, Planning and Zoning Assistant)**

Other: _____



DON BRITE
Chief of Police

JASON FOGLE
Deputy Chief of Police

8/3/2016

To: April Goad 
Chief Don Brite
Deputy Chief Jason Fogle

Re: Beer Permit for Highland Corporation.

I received an application for an applicant seeking a permit to allow for on premise consumption of alcohol. The business is Fast Stop Market located at 2100 Wall Street. The business is owned by Highland Corporation out of Hohenwald Tennessee.

Highland Corporation is a family owned business since 1936. They have numerous gas stations throughout middle Tennessee. Fast Stop Market currently has a beer permit for off-premise consumption. There is currently no complaints at that location.

I spoke with an employee at Fast Stop Market and learned that the on premise consumption will only be for the samples of beer they will sell on tap. The market will be selling growlers of beer. The cup that will be used for samples is approximately a half an ounce in size.

I searched the Better Business Bureau for Highland Corporation; no findings were revealed.

I searched the Spring Hill Police Department's database for David Adcox; no findings were revealed.

I searched the Department of Justice 's Sex Offender Registry for Mr. Adcox; no findings were revealed.

A complete criminal history can be obtained by contacting the Tennessee Bureau of Investigation for a monetary fee.

Sincerely,

Geoff Betts

Det. Geoff Betts
Criminal Investigation Division

SPRING HILL POLICE HEADQUARTERS

3636A ROYAL PARK BLVD., P. O. BOX 789, SPRING HILL, TN 37174
PHONE: 931.486.2252 - FAX: 931.499.7237 - DISPATCH: 931.486.3270

April Goad

From: Bonnie Turnbow
Sent: Wednesday, August 03, 2016 11:55 AM
To: April Goad
Subject: RE: Beer Application

Follow Up Flag: Follow up
Flag Status: Flagged

Zoning for 2001 Wall St is B-4

-----Original Message-----

From: April Goad
Sent: Monday, August 01, 2016 4:22 PM
To: Justin Whitwell <jwhitwell@springhilltn.org>; John Pewitt <jpewitt@springhilltn.org>; Bonnie Turnbow <bturnbow@springhilltn.org>
Subject: Beer Application

Hi:
I need:
Justin-Background Check
John-Distance from School
Bonnie-Zoning
Thanks,

April Goad, CMFO, CMC
City Recorder/Treasurer
City of Spring Hill
P.O. Box 789
Spring Hill, TN 37174
Phone: 931.486.2252, ext. 206
Fax: 931.486.0516
agoad@springhilltn.org
www.springhilltn.org

-----Original Message-----

From: myIQscan@springhilltn.org [<mailto:myIQscan@springhilltn.org>]
Sent: Monday, August 01, 2016 3:08 PM
To: April Goad
Subject:

This E-mail was sent from "RNP12282F" (MP C3300/LD533C).

Scan Date: 08.01.2016 16:08:00 (-0400)
Queries to: myIQscan@springhilltn.org

APPLICATION FOR BEER PERMIT



Business Name: HIGHLAND CORPORATION D/B/A FAST STOP MARKETS

Location: 2100 WALL STREET , SPRING HILL, TN 37174

Primary Phone: 615-302-8118 Other Phone: 931-796-2274

Applicant is seeking a permit which would allow the sale of beer for:

(Check One)

On-Premise Consumption
Consumption

Off-Premise

Both On-Premise & Off-Premise Consumption

Manufacturer or Distributor's Permit

note:

Special Events Permit

**We currently have a Off-Premise
Permit. Permit # 1318**

I hereby make application for a beer permit to sell, store, manufacture or distribute beer or other beverages authorized to be sold under the provisions of Chapter 69 of the Public Acts of 1933, Tennessee General Assembly, Section 57-5-101, et seq. Tennessee Code Annotated, and the amendments thereto, and base my application upon the following statements:

1.

Name of Applicant (Owner of business, whether a sole proprietorship ____, Partnership ____, Club ____, Firm ____, Corporation X__, LLC ____, Association ____, Joint-Stock Company ____)

Individual Owner's:

Date of Birth 05-11-1948 Driver's License# on file State TN

Social Security Number/ on file

Corporations':

Representative: DAVID M. ADCOX

Location General Manager: SETH BLANKS

General Manager's Contact Number: 615-496-7733

2. Are you a resident of the City of Spring Hill? NO

3. If the answer to the above question is no, is this application made in behalf of a firm, lodge, club, corporation, or similar organization CORPORATION

4. At what location will business be conducted? 2100 WALL ST., SPRING HILL, TN
-
5. If you are not the owner of this property, state the true owners thereof and submit a copy of your lease or state the agreement between you and the property owners. _____
-
6. List the names and addresses of all persons or firms who have any financial interest whatsoever in the beer business you propose to conduct. **SEE ATTACHED**
-
7. Will you operate this business in person? NO If no, give the *names, addresses* and *social security number(s)* of any other agents who will operate the business:
Store will be operated by employees of Highland Corporation d/b/a Fast Stop
Markets, Seth Blanks Vice President, P. O. Box 190, Hohenwald, TN 38462
-
8. Describe the nature of the business which you intend to operate. Convenience Store -
 Example; retail sales, hotel, restaurant or other
Retail Sales

9. List your record in the beer business for the last ten (10) years, if any: **See Attached List**

Date		Location	Employer	Type of Business
From	To			
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____

10. If granted a permit, do you state to the Beer Board that you will not employ any person in the storage or sale of beer who:
- Who has been convicted, within the past ten (10) years from the date of this application, of any law relating to the sale, possession, manufacture, or transportation of intoxicating beverages, including beer as defined by Ordinance No. 92-2, as amended, of the City of Spring Hill; or
 - Who has been convicted of any felony or any crime involving moral turpitude within the past ten (10) years? yes

11. Do you state to the Beer Board that you will not engage in the sale of beer except at the location for which the Beer Board has issued a permit? Yes
12. Do you state to the Beer Board that you will not make any sales of beer in conflict with the permit as issued? Yes
13. Do you state to the Beer Board, if this is an application for a permit to sell for consumption off the premises, that no sale shall be made for consumption on the premises, and that no such consumption will be allowed? _____
14. Do you intend to allow dancing on the premises? NO
- ✓15. Do you hereby represent and state to the Beer Board that you will strictly comply with all laws in regard to the sale of beer to minors, and will not permit minors or disorderly and disreputable persons to loiter about your place of business? yes
16. If granted a permit, you will be responsible for any gambling on the premises, and are you aware that allowing gambling on the premises will subject the permit to revocation? yes -
17. Will you allow your business to become a public nuisance or a nuisance to law enforcement agents, or allow it to materially contribute to places of like character in creating or maintaining a public nuisance? NO
18. Have you secured, and is there attached to this application a certificate or statement from the Chief of Police or other designated officials that the premises meets the requirements of Ordinance 92-2, as amended, of the City of Spring Hill? _____
19. If granted a permit, will your business cause traffic congestion or interfere with schools, or otherwise interfere with public health, safety, and morals? NO
20. Have you, within the past ten (10) years, been convicted of violating the law relating to illegal possession, sale, manufacture, or transportation of intoxicating beverages which term specifically includes beer or other beverages of five percent (5%) or less alcohol by weight NO
21. Have you, within the past ten (10) years, been convicted of a felony or any crime involving moral turpitude? NO
If you answered yes to either question 21 or 22, state offense, places convicted, and the dates on the back of this application.
23. Have you previously been issued a permit by this Beer Board? Yes If yes, was your place of business, in the period immediately preceding this application, operating in such a manner as to create a public nuisance or was it operated in such a manner as to materially contribute to places of like character in its vicinity in the creation or maintenance of a public nuisance? Have you violated any of the provisions of Ordinance No. 92-2, as amended, of The City Spring Hill within the past ten (10) years? NO
24. Will the premises be open between the hours of 12:30 a.m. and 6:00 a.m.? Yes
If yes, what type of business activities will be conducted within those hours? Convenience store and Fuel Sales

25. Does your premises provide and maintain adequate and separate toilet facilities for both men and women?yes

26. How far are the business premises from the nearest school, measured nearest corner to nearest corner?1/2 mile

27. Have you ever had a Beer permit revoked in the State of Tennessee?no
If yes, give date, place, and grounds for revocation. _____

28. Describe your company's training policy, including training regarding the sale of beer to minors and/or attach your written policy:

13?

yes

The applicant, being duly sworn, hereby vows that (Initial each blank):

Each and every statement in this application is true and correct and agrees that if any statement therein is false, the permit issued on this application may be revoked by the Beer Board upon notice and hearing, in which event the burden shall be on the applicant to prove the correctness of all the statements in this application. Da / SB

I have read and am familiar with the provisions of the Spring Hill Beer Ordinance 92-2 and all amendments. Da / SB

I hereby grant the City of Spring Hill permission to do a background investigation. Da / SB

Attached to this application is a copy of signed and executed lease agreement, or, I certify that I am the owner of the building/property in which the beer will be sold and/or consumed. Da / SB

This 1st day of August



[Signature]
Applicant Signature

[Signature]
Co-Applicant Signature

Sworn to and subscribed before me this 1st day of August, 2016.

[Signature]
Notary

My commission expires: 3-3-2019

FOR OFFICE USE ONLY

Date received: _____

App. Fee/Rec. #: _____

Date: _____

SUBJECT: Water Meter Replacement

DATE: August 8, 2016

ATTENTION: Board of Mayor and Aldermen

STAFF: Jeff Foster, Public Works Director



STAFF MEMORANDUM

The City has been with Badger Meters for the past twenty years and began changing water meters to radio read types in 2003. When this process started, there were approximately 3,000-4,000 meters in service in the utility system. Each meter had to be manually read monthly. All these meters were converted to radio read meters within a six month time period, which reduced the amount of time and personnel spent each month reading the meters.

Staff is currently reviewing all of the costs and issues regarding the replacement of existing and future meters with a new Cellular Read system. Staff has met and discussed the related issues and is presently preparing an analysis and report of the various issues along with projected costs and timing. It was, however, determined by staff upon careful consideration that the city will want to ease into the change-out process due to the required software development. (Manual reading and manual data entry are required until the software is developed and implemented. However, the interface software cannot be developed until we have a data file generated by the meters. Therefore, our first purchase of meters would be a small quantity i.e. 10 or so that won't overly consume employee time but will be sufficient to get the software developed, implemented and "bugs" removed.)

Additionally, the pace at which we currently replace meters is significantly less today than what will probably be required or recommended once we embark on the replacement program. In order for staff to completely understand both the short term and long term financial impacts, we have a significant amount of analysis to complete. We anticipate that we'll be able to show a complete purchasing program for you to evaluate next month. In the meantime, we'll be continuing to purchase the existing technology as we constantly have meters whose batteries have failed. We currently have 250 or so that are need immediate replacement.

**CITY OF SPRING HILL
BOARD OF MAYOR AND ALDERMEN
PUBLIC HEARING AGENDA
MONDAY, AUGUST 15, 2016
7:00 P.M.**

Call Public Hearing to order

Stipulation of Aldermen present

General Announcement – The procedural rules for public comment will be as follows: Items will be taken in order of the agenda. Audience members wishing to speak must be recognized by the Mayor and will have five minutes to address the Board of Mayor and Aldermen. No rebuttal remarks are permitted.

1. Consider Resolution 16-502, to approve land acquisition purchase of four Tracts of the Duplex Road Widening Project. Victor Lay, City Administrator
2. Consider Resolution 16-106, to approve a Special Events Permit for Spring Hill Art Walk.
3. Consider Resolution 16-107, to authorize the disposal of police vehicles for the police Department. *(recommended by the Budget and Finance Advisory Committee on August 1, 2016)* Don Brite, Chief of Police
4. Consider Resolution 16-108, to authorize expenditure for the electrical system upgrade of the city building at 407 McLemore Avenue. *(recommended by the Budget and Finance Advisory Committee on August 1, 2016)* John Pewitt, GIS/IT Director
5. Consider Resolution 16-109, to authorize expenditure for a ductless heating and cooling system for the city building at 407 McLemore Avenue. *(recommended by the Budget and Finance Advisory Committee on August 1, 2016)* John Pewitt, GIS/IT Director
6. Consider Resolution 16-110, to authorize a contract for Buckner Place Subdivision MS4 CIP #3. *(recommended by the Budget and Finance Advisory Committee on August 1, 2016)* Jeremy Polk, Stormwater Coordinator
7. Consider Resolution 16-111, to authorize a contract for Interior and Exterior Blasting and Painting of the South Side (Stonegate) Water Tank. *(recommended by the Budget and Finance Advisory Committee on August 1, 2016)* Caryl Giles, Water Treatment Plant Superintendent
8. Consider Resolution 16-112, to support approval of disbursements from Water Supply Escrow Fund for Duck River Agency for Fiscal Year 2016-2017 Program Budget. Caryl Giles, Water Treatment Plant Superintendent
9. Consider Resolution 16-502, to approve land acquisition purchase for Tracts of the Duplex Road Widening Project. Melissa Stahl, Project Administrator (incomplete)

10. Consider Resolution 16-113, to authorize acceptance of Offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing Plat for Autumn Ridge, Phase 3, Section 3. (*recommended by the Planning Commission on July 11, 2016*) Melissa Stahl, Project Manager
11. Consider Resolution 16-114, to authorize acceptance of Offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing Plat for Golf View, Phase 6. (*recommended by the Planning Commission on July 11, 2016*) Melissa Stahl, Project Manager
12. Consider Resolution 16-115, to authorize acceptance of Offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing Plat for Woodside, Phases 1A, 2A and 2B. (*recommended by the Planning Commission on July 11, 2016*) Melissa Stahl, Project Manager
13. Consider Resolution 16-116, to authorize acceptance of Offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing Plat for Woodside, Phase 1B. (*recommended by the Planning Commission on July 11, 2016*) Melissa Stahl, Project Manager
14. Consider Resolution 16-117, to authorize acceptance of Offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing Plat for Woodside, Phase 1C. (*recommended by the Planning Commission on July 11, 2016*) Melissa Stahl, Project Manager
15. Consider Second and Final Reading of Ordinance 16-12, PUD 199-2016: Submitted by Littlejohn Engineering for property located on Beechcroft Road and Cleburne Road. The property is zoned AG, Agriculture, R-2, Medium Density and contains approximately 473.13 acres. The applicant requests a Master Development Plan for 961 single family residential lots and 232 multi-family units for The Villages at Harvest Point (*Deferred by the Planning Commission on June 13, 2016*) Dara Sanders, Director of Planning
16. Consider Second and Final Reading of Ordinance 16-14, to adopt a privilege tax upon the occupancy in any hotel or motel or any place in which rooms, lodging or accommodations are furnished to transients for consideration. Victor Lay, City Administrator
17. Consider Second and Final Reading of Ordinance 16-15, to adopt Electronic Citation Regulations and Fees. Don Brite, Chief of Police
18. Consider Resolution 16-118, to approve the issuance of bonds by Health and Educational Facilities Board of the County of Franklin, TN for the benefit of BTT Development II, L.P. and Village Associates L.P. (Cindy Barnett, Adams and Reese Law Offices LLP) Patrick Carter, City Attorney
19. Consider Resolution 16-119, to authorize the acceptance of dedication of 32.89 acres, being part of Maury County Tax Map 043, Parcel 013.00, for the expansion of Port Royal Park.

20. Consider Resolution 16-120, to authorize Mayor to execute a Deed and a Negative Pledge Agreement with Spring Hill Little League.

Concerned Citizens

Adjourn

**CITY OF SPRING HILL
BOARD OF MAYOR AND ALDERMEN
REGULAR MEETING
MONDAY, AUGUST 15, 2016
7:00 P.M.**

Call the meeting to order

Stipulation of Aldermen present

Pledge of Allegiance

Invocation

Approval of the Agenda

Concerned Citizens

Comments by the Mayor

CONSENT AGENDA

1. Board approval:
 - a. Financial Reports of July 2016
 - b. Public Hearing and Regular Meeting Minutes of July 18, 2016
 - c. Special Call Public Hearing and Meeting Minutes of August 1, 2016

2. Departmental Reports for July 2016:
 - a. Legislative Department (V. Lay) (none)
 - b. Fire Department (Hood)
 - c. Police Department (Brite)
 - d. Emergency Communications (B. Smith) (none)
 - e. Library (Bivins)
 - f. Building/Planning, Codes Enforcement (Brooks)
 - g. Utility Billing (Younger)
 - h. Parks & Rec (Fischer) (none)
 - i. Court Report (J. Mitchell/B. Morgan)
 - j. Public Works (Streets, Water Distribution, and Sewer Collection System and Storm Water/MS4) (Foster/Norman) (none)
 - k. Water Treatment (Giles)
 - l. Waste Water Treatment (Massey)
 - m. GIS/IT (Pewitt) (none)
 - n. Human Resources (Taylor) (none)
 - o. Safety Committee (M. Bryan) (none)

3. Committee/Commission Minutes to be accepted in monthly records:
 - a. Planning Commission minutes of July 11, 2016 (Sanders)
 - b. Board of Zoning Appeals minutes July, 2016 (Sanders) (no meetings)
 - c. Historic Commission minutes of July 7, 2016 (Hull, Duda)
 - d. Budget and Finance Advisory Committee minutes of April 4, 2016-July 5, 2016 (unavailable) (Whittenburg, Wurth, Hull)
 - e. EDC Minutes of July 15, 2016 (Hull, Schoenbrodt)
 - f. Parks and Recreation Committee minutes July 28, 2016 (Williams/Fischer)

- g. Storm Water Advisory Committee (Polk/Zemek) (no meetings)
 - h. Library Board of Trustees Minutes, April-July 2016 (T. Jones) (unavailable)
 - i. Transportation Advisory Committee Minutes June 20, 2016 (approved) and July 18, 2016 (unapproved) (Fitterer, Whittenburg, Williams)
4. Consider Resolution 16-502, to approve land acquisition purchase of four (4) Tracts of the Duplex Road Widening Project. Victor Lay, City Administrator
 5. Consider Resolution 16-106, to approve a Special Events Permit for Spring Hill Art Walk.
 6. Consider Resolution 16-107, to authorize the disposal of police vehicles for the police Department. (*recommended by the Budget and Finance Advisory Committee on August 1, 2016*) Don Brite, Chief of Police
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 15. Consider Resolution 16-116, to authorize acceptance of Offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing Plat for Woodside, Phase 1B. (*recommended by the Planning Commission on July 11, 2016*) Melissa Stahl, Project Manager

16. Consider Resolution 16-117, to authorize acceptance of Offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing Plat for Woodside, Phase 1C. (*recommended by the Planning Commission on July 11, 2016*) Melissa Stahl, Project Manager
17. Consider Resolution 16-118, to approve the issuance of bonds by Health and Educational Facilities Board of the County of Franklin, TN for the benefit of BTT Development II, L.P. and Village Associates L.P. (Cindy Barnett, Adams and Reese Law Offices LLP) Patrick Carter, City Attorney
18. Consider Second and Final Reading of Ordinance 16-14, to adopt a privilege tax upon the occupancy in any hotel or motel or any place in which rooms, lodging or accommodations are furnished to transients for consideration. Victor Lay, City Administrator
19. Consider Second and Final Reading of Ordinance 16-15, to adopt Electronic Citation Regulations and Fees. Don Brite, Chief of Police

PREVIOUS BUSINESS

1. Consider First Reading of Ordinance 16-10, PUD 81-2015: Submitted by Huntly Gordon for property located at 3357 Denning Lane. This property is zoned AG (Ord. 09-24) and contains approximately 20 acres. The applicant requests rezoning approval of a Planned Unit Development to allow for 57 dwelling units. (*Deferred by the Planning Commission on June 13, 2016; deferred on July 18, 2016, due to lack of recommendation by the Planning Commission*) Dara Sanders, Director of Planning
2. Consider Second and Final Reading of Ordinance 16-12, PUD 199-2016: Submitted by Littlejohn Engineering for property located on Beechcroft Road and Cleburne Road. The property is zoned AG, Agriculture, R-2, Medium Density and contains approximately 473.13 acres. The applicant requests a Master Development Plan for 961 single family residential lots and 232 multi-family units for The Villages at Harvest Point (*Deferred by the Planning Commission on June 13, 2016*) Dara Sanders, Director of Planning

NEW BUSINESS

1. Consider Resolution 16-119, to authorize the acceptance of dedication of 32.89 acres, being part of Maury County Tax Map 043, Parcel 013.00, for the expansion of Port Royal Park.
2. Consider Resolution 16-120, to authorize Mayor to execute a Deed and a Negative Pledge Agreement with Spring Hill Little League.
3. Consider First Reading of Ordinance 16-16, to amend Spring Hill Municipal Code, Title 15, Chapter 1, regarding commercial vehicle through traffic on residential streets. Victor Lay, City Administrator

Concerned Citizens

Adjourn

RECONCILED BALANCES	AS OF 12/31/15	AS OF 1/31/16	AS OF 2/29/16	AS OF 3/31/16	AS OF 4/30/16	AS OF 5/31/16	AS OF 6/30/16	AS OF 7/31/16
GENERAL FUND	\$ 4,763,392	\$ 4,622,786	\$ 5,953,722	\$ 5,086,591	\$ 4,128,595	\$ 4,205,841	\$ 4,907,808	\$ 4,406,867
STATE STREET AID	\$ 639,100	\$ 649,127	\$ 643,581	\$ 770,183	\$ 766,962	\$ 815,116	\$ 654,505	\$ 245,559
IMPACT FEES	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 59,465	\$ 155,840	\$ 191,617
ADEQUATE FACILITIES TAX	\$ 2,231,395	\$ 2,354,249	\$ 2,439,693	\$ 2,602,487	\$ 2,339,279	\$ 2,404,340	\$ 2,585,856	\$ 2,700,440
SANITATION FUND	\$ 257,737	\$ 210,868	\$ 193,696	\$ 259,846	\$ 195,729	\$ 311,566	\$ 305,566	\$ 93,705
WATER-SEWER FUND 410-11211	\$ 7,761,655	\$ 10,718,037	\$ 7,820,092	WIP	\$ 1,075,141	\$ 106,780	\$ 4,572,514	\$ 2,494,392
SEWER RESERVE FUND 413-11315	\$ 4,249,427	\$ 4,565,231	\$ 4,565,666	WIP	\$ 5,008,313	\$ 5,073,194	\$ 3,216,538	\$ 3,361,564
WATER RESERVE FUND 413-11316	\$ 1,036,857	\$ 1,133,569	\$ 1,133,957	WIP	\$ 1,174,172	\$ 1,193,177	\$ 1,219,060	\$ 1,252,053
STORMWATER FUND	\$ 1,040,959	\$ 949,653	\$ 1,005,262	\$ 1,035,350	\$ 1,030,262	\$ 1,083,937	\$ 1,091,506	\$ 1,000,927
LIBRARY FUND	\$ 34,204	\$ 36,257	\$ 36,862	\$ 40,217	\$ 42,013	\$ 38,806	\$ 32,913	\$ 35,292
DRUG ENFORCEMENT FUND	\$ 51,777	\$ 43,827	\$ 51,253	\$ 50,533	\$ 57,246	\$ 56,002	\$ 66,215	\$ 81,466
TOTAL								
	\$ 22,066,503	\$ 25,283,604	\$ 23,843,783	\$ 9,845,206	\$ 15,817,712	\$ 15,348,224	\$ 18,808,321	\$ 15,863,882
MONEY MARKET BALANCES (BALANCES ARE NOT INCLUDED IN ABOVE BUDGET NUMBERS):								
GENERAL FUND MONEY MARKET	\$ 802,301	\$ 802,301	\$ 688,639	\$ 555,636	\$ 555,636	\$ 555,636	\$ 555,844	\$ 562,898
WATER/SEWER FUND MONEY MARKET	\$ 7,472,066	\$ 7,295,375	\$ 7,884,581	\$ 8,355,613	\$ 8,410,895	\$ 8,484,597	\$ 5,359,593	\$ 7,665,575

**CITY OF SPRING HILL
BOARD OF MAYOR AND ALDERMEN
PUBLIC HEARING MINUTES
MONDAY, JULY 18, 2016
7:00 P.M.**

Mayor Rick Graham called the Public Hearing to order at 7:10 p.m.

Aldermen present: Chad Whittenburg, Matt Fitterer, Keith Hudson, Bruce Hull, Susan Zemek, Kayce Williams and Amy Wurth. Absent: Jonathan Duda. Also present: Victor Lay, City Administrator; Patrick Carter, City Attorney; Jim Smith, Finance Director and April Goad, City Recorder.

General Announcement – The procedural rules for public comment will be as follows: Items will be taken in order of the agenda. Audience members wishing to speak must be recognized by the Mayor and will have five minutes to address the Board of Mayor and Aldermen. No rebuttal remarks are permitted.

Item #1 Consider Resolution 16-500, to approve land acquisition purchase for Tracts of the Duplex Road Widening Project. Victor Lay, City Administrator

Item #2 Consider Resolution 16-78, to authorize condemnation of certain portions of Lot 112, Duplex Road, owned by Port Royal Place Property Associates, GP. (*Deferred by BOMA June 13, 2016*) Victor Lay, City Administrator

Item #3 Consider Resolution 16-79, to approve Special Events Permit for the Spring Hill Country Ham Festival

Item #4 Consider Resolution 16-80, to appoint two members to the Library Board of Trustees. Hulen Bivins, Library Director

Item #5 Consider Resolution 16-81, to appoint member to the Parks and Recreation Committee. Kevin Fischer, Parks and Recreation Director

Item #6 Consider Resolution 16-82, to authorize a contract for municipal street sweeping services. Jeremy Polk, Stormwater Coordinator.

Item #7 Consider Resolution 16-83, to authorize the expenditure of funds for a Water and Sewer Capacity Study. Victor Lay, City Administrator.

Item #8 Consider Resolution 16-84, to authorize the Mayor of Spring Hill, TN to enter into a Memo of Understanding agreement with the Spring Hill Little League. Patrick Carter, City Attorney.

Item #9 Consider Resolution 16-105, a request of an appeal of the Planning Commission's decision for NCP190-2016 requested by Shaw Enterprises, LLC for The Cove at Spring Hill subdivision. Dara Sanders, Director of Planning.

Item #10 Consider Resolution 16-86, to authorize acceptance of offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing plat for Wades Grove Section 3A. Victor Lay, City Administrator.

Item #11 Consider Resolution 16-87, to authorize acceptance of offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing plat for Wades Grove Section 3B. Victor Lay, City Administrator.

Item #12 Consider Resolution 16-88, to authorize acceptance of offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing plat for Wades Grove Section 4. Victor Lay, City Administrator.

Item #13 Consider Resolution 16-89, to authorize acceptance of offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing plat for Wades Grove Section 5A. Victor Lay, City Administrator.

Item #14 Consider Resolution 16-90, to authorize acceptance of offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing plat for Wades Grove Section 5B. Victor Lay, City Administrator.

Item #15 Consider Resolution 16-91, to authorize the sale of two surplus pickup trucks in the Public Works Department. Victor Lay, City Administrator.

Item #16 Consider Resolution 16-92, to authorize the purchase of a mini excavator for the Public Works Department. Victor Lay, City Administrator.

Item #17 Consider Resolution 16-93, to authorize funding to purchase Right-of-Way easement for US 31 Improvements. Victor Lay, City Administrator.

Item #18 Consider Resolution 16-94, to approve an Inter-local Agreement for Network Services between the City of Spring Hill and Columbia Power and Water Systems. Victor Lay, City Administrator.

Item #19 Consider Resolution 16-95, to authorize funding to purchase an easement for sewer line installation along Main Street crossing the property owned by the Eddice Burns Trust. Victor Lay, City Administrator.

Item #20 Consider Resolution 16-96, to authorize funding to purchase an easement for sewer line installation along Main Street crossing the property owned by Ms. Inez Harvey. Victor Lay, City Administrator.

Item #21 Consider Resolution 16-97, to authorize the Mayor of Spring Hill, TN to sign and approve funding for acquisition of easements contract with the Tennessee Department of Transportation for Project No. 60LPLM-S2-021.

Item #22 Consider Resolution 16-98, to authorize the Mayor of Spring Hill, TN to sign and approve funding for acquisition of sewer easement contract with the Tennessee Department of Transportation for Project No. 60019-2207-94. Victor Lay, City Administrator.

Item #23 Consider Resolution 16-99, to authorize the Mayor of Spring Hill, TN to sign and approve funding for acquisition of water easement contract with the Tennessee Department of Transportation for Project No. 60019-2207-94. Victor Lay, City Administrator.

Item #24 Consider Resolution 16-100, to authorize the Mayor of Spring Hill, TN to sign and approve funding for utility (sewer) relocation contract with the Tennessee Department of Transportation for Project No. 60019-2207-94. Victor Lay, City Administrator.

Item #25 Consider Resolution 16-101, to authorize the Mayor of Spring Hill, TN to sign and approve funding for utility (water) relocation contract with the Tennessee Department of Transportation for Project No. 60019-2207-94. Victor Lay, City Administrator.

Item #26 Consider Resolution 16-102, to authorize the Mayor of Spring Hill, TN to sign and approve funding for utility relocation contract with the Tennessee Department of Transportation for Project No. 60LPLM-S2-021. Victor Lay, City Administrator.

Item #27 Consider Resolution 16-103, to authorize the Mayor of Spring Hill, TN to sign and approve funding for acquisition of water easement contract with the Tennessee Department of Transportation for Project No. 60LPLM-S2-021. Victor Lay, City Administrator.

Item #28 Consider Resolution 16-104, to authorize the Mayor of Spring Hill, TN to sign and approve funding for utility (water) relocation contract with the Tennessee Department of Transportation for Project No. 60LPLM-S2-021. Victor Lay, City Administrator.

Item #29 Consider Second and Final Reading of Ordinance 16-06, RZN 159-2016: Submitted by Huntly Gordon for property located at 5242 Main Street. The property is zoned B-2, Neighborhood Shopping District, and contains approximately 1.4 acres. The applicant requests rezoning the property from a B-2, Neighborhood Shopping District, to a B-4, Central Business District. *(Denial recommended by the Planning Commission on June 13, 2016; amended and approved on June 20, 2016)* Chad Whittenburg, Alderman

Item #30 Consider Second and Final Reading of Ordinance 16-13, to amend Ordinance 14-07 and the Spring Hill Municipal Code, Title 11, Chapter 4; Section 11-402, regarding offenses against the peace and quiet. Chad Whittenburg, Alderman

Jonathan Duda arrived at 7:15 p.m.

Concerned Citizens:

Mike Herron, UAW Chairman, spoke about the ball fields. He stated he is in favor of the MOU between the city and the Little League.

A motion to adjourn was made by Alderman Wurth and seconded by Alderman Zemek.

Meeting adjourned at 7:17 p.m.

April Goad, City Recorder

Rick Graham, Mayor

**CITY OF SPRING HILL
BOARD OF MAYOR AND ALDERMEN
REGULAR MEETING MINUTES
MONDAY, JULY 18, 2016
7:00 P.M.**

Mayor Rick Graham called the meeting to order at 7:00 p.m.

Aldermen present: Chad Whittenburg, Matt Fitterer, Keith Hudson, Bruce Hull, Susan Zemek, Kayce Williams, Jonathan Duda and Amy Wurth. Also present: Victor Lay, City Administrator; Patrick Carter, City Attorney; Jim Smith Finance Director; April Goad, City Recorder.

The Pledge of Allegiance was led by Alderman Fitterer.

The Invocation was led by Alderman Hudson.

Approval of the Agenda: Motion to approve the agenda was made by Alderman Wurth; seconded by Alderman Williams.
Vote: Unanimous. 9/0

Concerned Citizens: None

Comments by the Mayor:

Recognition of Spring Hill High School Baseball Team, 2016 State Champions. Mayor and Aldermen congratulated the members of the 2016 Spring Hill High School Baseball Team and presented them with a Certificate of Appreciation.

CONSENT AGENDA

1. Board approval:
 - a. Financial Reports of May and June 2016
 - b. Public Hearing and Regular Meeting Minutes of June 20, 2016
 - c. Special Call Public Hearing and Meeting Minutes of June 6, 2016

2. Departmental Reports for June 2016:
 - a. Legislative Department (V. Lay) (none)
 - b. Fire Department (Hood)
 - c. Police Department (Brite)
 - d. Emergency Communications (B. Smith) (none)
 - e. Library (Bivins)
 - f. Building/Planning, Codes Enforcement (Brooks)
 - g. Utility Billing (Younger)
 - h. Parks & Rec (Fischer) (none)
 - i. Court Report (J. Mitchell/B. Morgan)
 - j. Public Works (Streets, Water Distribution, and Sewer Collection System and Storm Water/MS4) (Foster/Norman) (none)
 - k. Water Treatment (Giles)
 - l. Waste Water Treatment (Massey)
 - m. GIS/IT (Pewitt) (none)
 - n. Human Resources (Taylor) (none)
 - o. Safety Committee (M. Bryan) (none)

3. Committee/Commission Minutes to be accepted in monthly records:
 - a. Planning Commission minutes of June 13, 2016 (Sanders)
 - b. Board of Zoning Appeals minutes March 15, 2016 and May 17, 2016 (Sanders)
 - c. Historic Commission minutes of June 2, 2016 (Hull, Duda)

- d. Budget and Finance Advisory Committee minutes of April 4, 2016-June 6, 2016 (unavailable) (Whittenburg, Wurth, Hull)
 - e. EDC Minutes of June 17, 2016 (Hull, Schoenbrodt)
 - f. Parks and Recreation Committee minutes June 23, 2016 (Williams/Fischer)
 - g. Storm Water Advisory Committee (Polk/Zemek) (no meetings)
 - h. Library Board of Trustees Minutes, April-June 2016 (T. Jones) (unavailable)
 - i. Transportation Advisory Committee Minutes May 16, 2016 (approved) and June 20, 2016 (unapproved) (Fitterer, Whittenburg, Williams)
4. Consider Resolution 16-79, to approve Special Events Permit for the Spring Hill Country Ham Festival.
 5. Consider Resolution 16-82, to authorize a contract for municipal street sweeping services. Jeremy Polk, Stormwater Coordinator.
 6. Consider Resolution 16-86, to authorize acceptance of offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing plat for Wades Grove Section 3A. Victor Lay, City Administrator.
 7. Consider Resolution 16-87, to authorize acceptance of offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing plat for Wades Grove Section 3B. Victor Lay, City Administrator.
 8. Consider Resolution 16-88, to authorize acceptance of offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing plat for Wades Grove Section 4. Victor Lay, City Administrator.
 9. Consider Resolution 16-89, to authorize acceptance of offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing plat for Wades Grove Section 5A. Victor Lay, City Administrator.
 10. Consider Resolution 16-90, to authorize acceptance of offer of Dedication of Road Rights-of-Way and Public Improvements shown on the existing plat for Wades Grove Section 5B. Victor Lay, City Administrator.
 11. Consider Resolution 16-91, to authorize the sale of two surplus pickup trucks in the Public Works Department. Victor Lay, City Administrator.
 12. Consider Resolution 16-92, to authorize the purchase of a mini excavator for the Public Works Department. Victor Lay, City Administrator.
 13. Consider Resolution 16-93, to authorize funding to purchase Right-of-Way easement for US 31 Improvements. Victor Lay, City Administrator.
 14. Consider Resolution 16-94, to approve an Interlocal Agreement for Network Services between the City of Spring Hill and Columbia Power and Water Systems. Victor Lay, City Administrator.
 15. Consider First Reading of Ordinance 16-15, to adopt Electronic Citation Regulations and Fees. Don Brite, Chief of Police.
 16. Consider Resolution 16-500, to approve land acquisition purchase for Tracts of the Duplex Road Widening Project. Victor Lay, City Administrator

Alderman Wurth moved to approve the consent agenda. Motion seconded by Vice Mayor Hull.
 Motion approved: 9/0

PREVIOUS BUSINESS

Item #1 Consider First Reading of Ordinance 16-10, PUD 81-2015: Submitted by Huntly Gordon for property located at 3357 Denning Lane. This property is zoned AG (Ord. 09-24) and contains approximately 20 acres. The applicant requests rezoning approval of a Planned Unit Development to allow for 57 dwelling units. (*Considered by the Planning Commission on June 13, 2016*) Dara Sanders, Director of Planning
Motion to defer due to lack of recommendation by Planning Commission; Motion seconded by Alderman Wurth.

Roll call to defer First Reading of Ordinance 16-10, PUD 81-2015: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye. Motion carried 9/0.

Item #2 Consider First Reading of Ordinance 16-12, PUD 199-2016: Submitted by Littlejohn Engineering for property located on Beechcroft Road and Cleburne Road. The property is zoned AG, Agriculture, R-2, Medium Density and contains approximately 473.13 acres. The applicant requests a Master Development Plan for 961 single family residential lots and 232 multi-family units for The Villages at Harvest Point (*Recommended by the Planning Commission on July 11, 2016*) Dara Sanders, Director of Planning

Motion to approve by Alderman Williams; seconded by Alderman Wurth. Discussion: Alderman Duda pointed out that there is new information in staff notes and everyone should take time to read the new memo before second reading. Alderman Wurth stated that she will not be in support, she feels that other things need to be addressed first. Alderman Whittenburg stated that he can't support this although it is a great plan, but he doesn't feel that Beechcroft should end up like Duplex. Alderman Zemek also agreed that it's a beautiful plan but Beechcroft isn't ready. Alderman Duda stated that the state is working on improvements to Beechcroft. He feels, that with the improvements coming, it is time for this development. He also pointed out that the property owner donated the land for the Spring Hill Middle School in 2007.

Roll call to approve First Reading of Ordinance 16-12 PUD 199-2016: Chad Whittenburg, nay; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, nay; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, nay.
Motion carried 6/3.

Item #3 Consider Second and Final Reading of Ordinance 16-06, RZN 159-2016: Submitted by Huntly Gordon for property located at 5242 Main Street. The property is zoned B-2, Neighborhood Shopping District, and contains approximately 1.4 acres. The applicant requests rezoning the property from a B-2, Neighborhood Shopping District, to a B-4, Central Business District. (*Denial recommended by the Planning Commission on June 13, 2016*) Chad Whittenburg, Alderman

Motion to approve was made by Alderman Duda and seconded by Vice Mayor Hull.

Roll call to approve Second and Final Reading of Ordinance 16-06 RZN 159-2016: Chad Whittenburg, aye; Matt Fitterer, nay; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, nay.
Motion carried 7/2.

Item #4 Consider Second and Final Reading of Ordinance 16-13, to amend Ordinance 14-07 and the Spring Hill Municipal Code, Title 11, Chapter 4, Section 11-402, regarding offenses against the peace and quiet. Chad Whittenburg, Alderman

Motion to approve by Alderman Fitterer, seconded by Alderman Hudson. Discussion: Alderman Duda stated that he appreciates Alderman Whittenburg bringing this forward. He feels that the first part corrects a codification error. The second part he has an issue with because construction can continue for extended periods and on holidays. He moved to strike the second statement underlined. Motion seconded by Mayor Graham. Alderman

Wurth, Vice Mayor Hull and Alderman Whittenburg discussed this ordinance. Alderman Duda stated that he would support it if the section was re-written to include time limits.

Roll call to amend Second and Final Reading of Ordinance 16-13, to amend Ordinance 14-07: Chad Whittenburg, nay; Matt Fitterer, nay; Keith Hudson, aye; Bruce Hull, nay; Mayor, nay; Susan Zemek, nay; Kayce Williams, nay; Jonathan Duda, aye; Amy Wurth, nay.

Motion failed 2/7.

Roll call to approve Second and Final Reading of Ordinance 16-13, to amend Ordinance 14-07: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, nay; Amy Wurth, aye.

Motion carried 8/1.

NEW BUSINESS

Item #1 Consider Resolution 16-105, a request of an appeal of the Planning Commission's decision for NCP190-2016 requested by Shaw Enterprises, LLC for The Cove at Spring Hill subdivision. Dara Sanders, Director of Planning. Motion to approve by Alderman Fitterer, seconded by Alderman Wurth. Mr. Fitterer discussed an amendment to the resolution. Seconded by Vice Mayor Hull. Mr. Duda made a motion to change the caption. Alderman Duda discussed clarification. In June this item came before the board. Two issues had been brought before the Planning Commission in May: 1.) That we approve with the condition that there were two entrances and 2.) a walking trail bridge be built by the developer connecting it to Port Royal Park. As I recall, we did not discuss sidewalks in the June work session. In his experience subdivisions that only provide sidewalks on one side don't work out. The residents end up submitting sidewalk requests to the city and the city ends up paying for the construction of the sidewalks.

Roll call to amend Resolution 16-105, a request of an appeal of the Planning Commission's decision for NCP 190-2016. Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, nay; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.

Motion carried 8/1.

Mr. Duda moved to amend condition #7 to read that sidewalks shall be constructed on both sides of local streets and collector streets. Seconded by Vice Mayor Hull.

Mr. Duda asked that the rules be suspended so that applicant can explain requests. Mr. Randall Shaw explained that it is a small development and they will have park space. They will be donating property to the city for expansion of the park. Vice Mayor Hull asked if the conditions of approval are passed and negotiations fail, wouldn't approval then be repealed. Alderman Williams asked about sidewalk discussions at Planning Commission. Alderman Whittenburg called for the orders of the day. Seconded by Alderman Wurth.

Alderman Duda stated that he would not support his own motion. He asked that he consider sidewalks on both sides of the street.

Roll call for second amendment to Resolution 16-105: Chad Whittenburg, nay; Matt Fitterer, nay; Keith Hudson, nay; Bruce Hull, nay; Mayor, nay; Susan Zemek, aye; Kayce Williams, nay; Jonathan Duda, nay; Amy Wurth, aye. Motion failed 2/7.

Roll call to approve Resolution 16-105 as amended: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, abstained; Mayor, aye; Susan Zemek, nay; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, nay. Motion carried 6/2/1, Vice Mayor Hull abstained by accident.

Item #2 Consider Resolution 16-80, to appoint two members to the Library Board of Trustees. Hulen Bivins, Library Director

Alderman Wurth moved to approve. Motion seconded by the Mayor. Mr. Fitterer nominated Charlie Schoenbrodt for the first line. Seconded by Alderman Williams. Mr. Fitterer nominated Blair Morgan for the second spot. Motion seconded by Alderman Wurth.
Motion approved 9/0.

Item #3 Consider Resolution 16-81, to appoint one member to the Parks and Recreation Committee. Kevin Fischer, Parks and Recreation Director
Motion to approve by Alderman Wurth, seconded by Alderman Williams. Alderman Williams nominated Clint McCain for term expiring 12-31-16. Seconded by Alderman Wurth. Mr. Duda nominated Hazel Nieves. Mr. Whittenburg moved to change resolution to reflect one appointment. Mr. Duda stated that she is talented serving on the Historic Commission. She is an excellent resource and is committed in participation.
Vote: McCain; Nieves; Nieves, McCain; Nieves, McCain; McCain, Nieves, Nieves.

Motion carried 9/0.

Item #4 Consider Resolution 16-83, to authorize the expenditure of funds for a Water and Sewer Capacity Study.
Victor Lay, City Administrator.

Motion to approve by Vice Mayor Hull; seconded by Alderman Wurth. Ms. Wurth explained it was funded in the budget and it is recommended by BFAC.

Roll call to approve Resolution 16-83: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.
Motion carried 9/0.

Item #5 Consider First Reading of Ordinance 16-14, to adopt a privilege tax upon the occupancy in any hotel or motel or any place in which rooms, lodging or accommodations are furnished to transients for consideration. Victor Lay, City Administrator

Motion to approve by Alderman Williams; seconded by Alderman Fitterer. Mr. Fitterer discussed 2%, Mr. Carter stated that this is in the statute and it is recommended by MTAS. He stated that all cities have uniformly adopted this percentage.

Roll call to approve Resolution 16-14: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.
Motion carried 9/0.

Item #6 Consider Resolution 16-84, to authorize the Mayor of Spring Hill, TN to enter into a Memo of Understanding agreement with the Spring Hill Little League. Patrick Carter, City Attorney.
Motion to approve by Vice Mayor Hull; seconded by Alderman Williams.
Alderman Fitterer asked them to keep in mind the two conditions. (Patrick sent the updated version on 7-7-16)
Alderman Duda and Alderman Wurth shared misgivings on this type of transaction. Alderman Williams discussed the city's protection that has been added to the Memorandum of Understanding. Alderman Wurth stated that it's not a smart idea to deed property to a non-profit. She also recommends getting the improvements completed at Evans Park. The funds have been budgeted but the work has not been done.

Mr. Duda requested information from the Spring Hill Little League regarding their financials, sub leases and demonstration that they can use and improve the property. He has not received the information and renews his request. He submits that the city finds funding to get the fields developed.

Mr. Carter discussed the terms of the MOU. Alderman Wurth stated that she is committed to funding baseball fields on any land the city currently owns she isn't supportive of deeding the land over.

Vice Mayor Hull stated that if they can't get funding, it will come back to the city. Mr. Duda stated that a lease agreement should be considered.

Roll call to approve Resolution 16-84: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, nay; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, nay; Amy Wurth, nay.
Motion carried 6/3.

Item #7 Consider Resolution 16-95, to authorize funding to purchase an easement for sewer line installation along Main Street crossing the property owned by the Eddice Burns Trust. Dan Allen, Infrastructure Director.
Motion to approve by Wurth; seconded by Vice Mayor Hull.

Roll call to approve Resolution 16-95: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, abstain; Amy Wurth, aye.
Motion carried 8/0/1.

Item #8 Consider Resolution 16-96, to authorize funding to purchase an easement for sewer line installation along Main Street crossing the property owned by Ms. Inez Harvey. Dan Allen, Infrastructure Director.
Motion to approve by Alderman Fitterer; seconded by Alderman Wurth.

Roll call to approve Resolution 16-96: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, abstain; Amy Wurth, aye.
Motion carried 8/0/1.

Item #9 Consider Resolution 16-97, to authorize the Mayor of Spring Hill, TN to sign and approve funding for acquisition of easements contract with the Tennessee Department of Transportation for Project No. 60LPLM-S2-021. Motion by Alderman Fitterer; seconded by Alderman Wurth. Ms. Wurth explained that TDOT will reimburse at a percentage.

Roll call to approve Resolution 16-97: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.
Motion carried 9/0.

Item #10 Consider Resolution 16-98, to authorize the Mayor of Spring Hill, TN to sign and approve funding for acquisition of sewer easement contract with the Tennessee Department of Transportation for Project No. 60019-2207-94. Dan Allen, Infrastructure Director.
Motion to approve was made by Vice Mayor Hull and seconded by Alderman Fitterer.

Roll call to approve Resolution 16-98: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.
Motion carried 9/0.

Item #11 Consider Resolution 16-99, to authorize the Mayor of Spring Hill, TN to sign and approve funding for acquisition of water easement contract with the Tennessee Department of Transportation for Project No. 60019-2207-94. Dan Allen, Infrastructure Director.
Motion by Alderman Fitterer. Seconded by Vice Mayor Hull.

Roll call to approve Resolution 16-99: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.
Motion carried 9/0.

Item #12 Consider Resolution 16-100, to authorize the Mayor of Spring Hill, TN to sign and approve funding for utility (sewer) relocation contract with the Tennessee Department of Transportation for Project No. 60019-2207-94. Dan Allen, Infrastructure Director.
Motion by Vice Mayor Hull. Seconded by Alderman Fitterer.

Roll call to approve Resolution 16-100: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.
Motion carried 9/0.

Item #13 Consider Resolution 16-101, to authorize the Mayor of Spring Hill, TN to sign and approve funding for utility (water) relocation contract with the Tennessee Department of Transportation for Project No. 60019-2207-94. Dan Allen, Infrastructure Director.
Motion by Alderman Fitterer. Seconded by Vice Mayor Hull.

Roll call to approve Resolution 16-101: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.
Motion carried 9/0.

Item #14 Consider Resolution 16-102, to authorize the Mayor of Spring Hill, TN to sign and approve funding for utility relocation contract with the Tennessee Department of Transportation for Project No. 60LPLM-S2-021. Dan Allen, Infrastructure Director.
Motion by Alderman Fitterer. Seconded by Vice Mayor Hull.

Roll call to approve Resolution 16-102: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.
Motion carried 9/0.

Item #15 Consider Resolution 16-103, to authorize the Mayor of Spring Hill, TN to sign and approve funding for acquisition of water easement contract with the Tennessee Department of Transportation for Project No. 60LPLM-S2-021. Victor Lay, City Administrator.
Motion by Alderman Fitterer. Seconded by Mayor Graham.

Roll call to approve Resolution 16-103: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.
Motion carried 9/0.

Item #16 Consider Resolution 16-104, to authorize the Mayor of Spring Hill, TN to sign and approve funding for utility (water) relocation contract with the Tennessee Department of Transportation for Project No. 60LPLM-S2-021. Victor Lay, City Administrator.
Motion by Alderman Fitterer. Seconded by Vice Mayor Hull.

Roll call to approve Resolution 16-104: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.
Motion carried 9/0.

Item #17 Consider Resolution 16-78, to authorize condemnation of certain portions of Lot 112, Duplex Road, owned by Port Royal Place Property Associates, GP. (*Deferred by BOMA June 13, 2016*) Victor Lay, City Administrator
Motion to table by Alderman Wurth; motion seconded by Alderman Fitterer.

Roll call to table Resolution 16-78: Chad Whittenburg, aye; Matt Fitterer, aye; Keith Hudson, aye; Bruce Hull, aye; Mayor, aye; Susan Zemek, aye; Kayce Williams, aye; Jonathan Duda, aye; Amy Wurth, aye.
Motion carried 9/0.

Concerned Citizens:

Jane Roland, Petty Lane, spoke against the development on Beechcroft Road citing safety issues.

Waldo Creggor, Petty Lane also asked that the infrastructure go in first and Spring Hill should take responsibility for Clebourne Road.

Motion to adjourn was made by Vice Mayor Hull and seconded by Alderman Wurth.

Meeting adjourned at 9:18 p.m.

April Goad, City Recorder

Rick Graham, Mayor

**CITY OF SPRING HILL
BOARD OF MAYOR AND ALDERMEN
SPECIAL CALL PUBLIC HEARING MINUTES
MONDAY, AUGUST 1, 2016
6:00 P.M.**

The Special Call Public Hearing was called to order by Mayor Rick Graham at 6:00 p.m.

Aldermen present were: Amy Wurth, Jonathan Duda, Susan Zemek, Kayce Williams, Bruce Hull, and Chad Whittenburg. Absent were Matt Fitterer and Keith Hudson.

General Announcement – The procedural rules for public comment will be as follows: Items will be taken in order of the agenda. Audience members wishing to speak must be recognized by the Mayor and will have five minutes to address the Board of Mayor and Aldermen. No rebuttal remarks are permitted.

1. Consider Resolution 16-501, to approve land acquisition purchase(s) for Tract(s) of the Duplex Road Widening Project. Melissa Stahl, Project Manager
2. Presentation of Form CT-0253, Report on Debt Obligation on Capital Outlay Note, Series 2016. Jim Smith, Finance Director.

Concerned Citizens: None

Alderman Williams made a motion to adjourn. Motion seconded by Alderman Zemek. Public Hearing adjourned at 6:07 p.m.

April Goad, City Recorder

Rick Graham, Mayor

**CITY OF SPRING HILL
BOARD OF MAYOR AND ALDERMEN
SPECIAL CALL MEETING MINUTES
MONDAY, AUGUST 1, 2016
6:00 P.M.**

Mayor Rick Graham called the Special Call Meeting to order at 6:08 p.m.

Aldermen present were: Amy Wurth, Jonathan Duda, Susan Zemek, Kayce Williams, Bruce Hull, and Chad Whittenburg. Absent were Matt Fitterer and Keith Hudson.

Concerned Citizens: None

CONSENT AGENDA

1. Consider Resolution 16-501, to approve Land Acquisition Purchases for five (5) Tracts of the Duplex Road Project. Melissa Stahl, Project Manager

City Administrator, Victor Lay reviewed the new state requirements for the Duplex Road project.

Vice Mayor Hull moved to approve the consent agenda. Motion seconded by Alderman Williams. Vote: 7-0, Unanimous.

Alderman Hudson arrived at 6:10 p.m.

NEW BUSINESS

1. Presentation of Form CT-0253, Report on Debt Obligation on Capital Outlay Note, Series 2016. Jim Smith, Finance Director

Jim Smith explained that this is required for the 2016 Capital Outlay Note. The Mayor will sign the CT-0253 Form that verifies this information has been given to the governing board and it will be forwarded to bond counsel.

Motion to adjourn was made by Alderman Wurth; seconded by Vice Mayor Hull. Vote 8-0; meeting adjourned at 6:11 p.m.

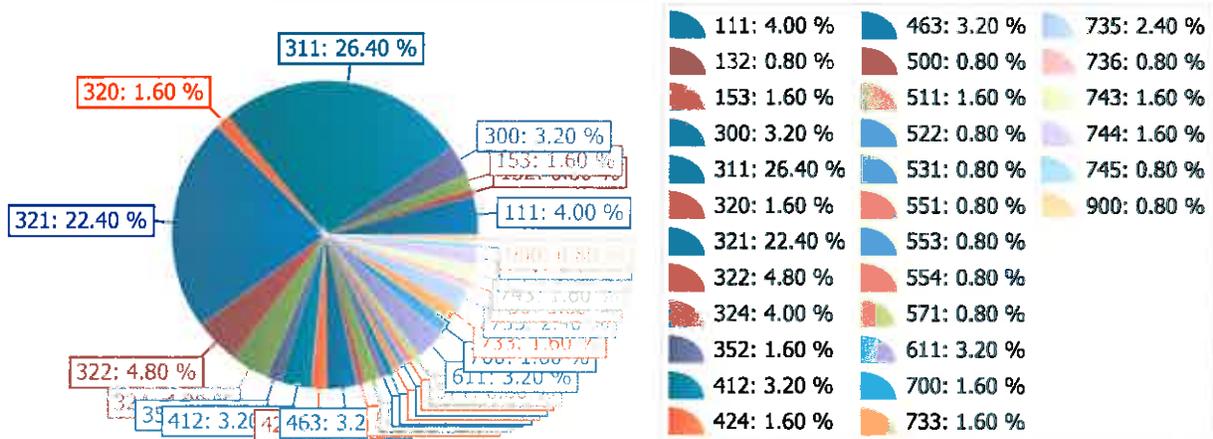
April Goad, City Recorder

Rick Graham, Mayor

DEPARTMENTAL REPORTS



Incident Reports By Incident Type, Summary



Incident Type	Total Incidents	Percent
111 - Building fire	5	4.00%
132 - Road freight or transport vehicle fire	1	0.80%
153 - Construction or demolition landfill fire	2	1.60%
300 - Rescue, EMS incident, other	4	3.20%
311 - Medical assist, assist EMS crew	33	26.40%
320 - Emergency medical service incident, other	2	1.60%
321 - EMS call, excluding vehicle accident with injury	28	22.40%
322 - Motor vehicle accident with injuries	6	4.80%
324 - Motor vehicle accident with no injuries.	5	4.00%
352 - Extrication of victim(s) from vehicle	2	1.60%
412 - Gas leak (natural gas or LPG)	4	3.20%
424 - Carbon monoxide incident	2	1.60%
463 - Vehicle accident, general cleanup	4	3.20%
500 - Service Call, other	1	0.80%
511 - Lock-out	2	1.60%
522 - Water or steam leak	1	0.80%
531 - Smoke or odor removal	1	0.80%

Incident Type	Total Incidents	Percent
551 - Assist police or other governmental agency	1	0.80%
553 - Public service	1	0.80%
554 - Assist invalid	1	0.80%
571 - Cover assignment, standby, moveup	1	0.80%
611 - Dispatched & canceled en route	4	3.20%
700 - False alarm or false call, other	2	1.60%
733 - Smoke detector activation due to malfunction	2	1.60%
735 - Alarm system sounded due to malfunction	3	2.40%
736 - CO detector activation due to malfunction	1	0.80%
743 - Smoke detector activation, no fire - unintentional	2	1.60%
744 - Detector activation, no fire - unintentional	2	1.60%
745 - Alarm system activation, no fire - unintentional	1	0.80%
900 - Special type of incident, other	1	0.80%

Total Number of Incidents: 125

Total Number of Incident Types: 30



Training Class Sessions by Date

June 30, 2016 00:00, Thursday

Session: Behavioral Health	Start Time: 06/30/16 00:00
Held At: Station 2	End Time: 06/30/16 08:00

June 29, 2016 00:00, Wednesday

Session: Behavioral Health	Start Time: 06/29/16 00:00
Held At: Station 2	End Time: 06/29/16 08:00

June 28, 2016 00:00, Tuesday

Session: Behavioral Health	Start Time: 06/28/16 00:00
Held At: Station 2	End Time: 06/28/16 08:00

June 23, 2016 00:00, Thursday

Session: Strategies and Tactics	Start Time: 06/23/16 00:00
Held At: Station 2	End Time: 06/23/16 08:00

June 22, 2016 00:00, Wednesday

Session: Strategies and Tactics	Start Time: 06/22/16 00:00
Held At: Station 2	End Time: 06/22/16 08:00

June 21, 2016 00:00, Tuesday

Session: Strategies and Tactics	Start Time: 06/21/16 00:00
Held At: Station 2	End Time: 06/21/16 08:00

June 16, 2016 08:30, Thursday

Session: Tactical First Aid	Start Time: 06/16/16 08:30
Held At: Station 2	End Time: 06/16/16 12:30

June 15, 2016 08:30, Wednesday

Session: Tactical First Aid
Held At: Station 2

Start Time: 06/15/16 08:30
End Time: 06/15/16 12:30

June 14, 2016 08:30, Tuesday

Session: Tactical First Aid
Held At: Station 2

Start Time: 06/14/16 08:30
End Time: 06/14/16 12:30

June 09, 2016 18:00, Thursday

Session: PT
Held At:

Start Time: 06/09/16 18:00
End Time: 06/09/16 19:00

June 09, 2016 16:00, Thursday

Session: Driver Training
Held At:

Start Time: 06/09/16 16:00
End Time: 06/09/16 19:00

June 09, 2016 07:00, Thursday

Session: Apparatus Daily check off
Held At:

Start Time: 06/09/16 07:00
End Time: 06/09/16 08:00

June 09, 2016 00:00, Thursday

Session: Reading Smoke
Held At: Station 2

Start Time: 06/09/16 00:00
End Time: 06/09/16 04:00

June 08, 2016 00:00, Wednesday

Session: Reading Smoke
Held At: Station 2

Start Time: 06/08/16 00:00
End Time: 06/08/16 04:00

June 07, 2016 00:00, Tuesday

Session: Reading Smoke
Held At: Station 2

Start Time: 06/07/16 00:00
End Time: 06/07/16 04:00

June 06, 2016 13:00, Monday

Incidents by Address, Summary

100 SATURN PKY W, SPRING HILL, TN 37174

Incident #	Exp #	Alarm Date/Time	Incident Type
1601601	0	6/15/2016 15:10	111 - Building fire

1012 ST. HUBBINS DR, SPRING HILL, TN 37174

Incident #	Exp #	Alarm Date/Time	Incident Type
1601657	0	6/27/2016 13:52	111 - Building fire

2955 CHURCHILL LN, THOMPSON'S STATION, TN 37174

Incident #	Exp #	Alarm Date/Time	Incident Type
1601622	0	6/20/2016 19:53	111 - Building fire

2229 JoAnn DR, Spring Hill, TN 37174

Incident #	Exp #	Alarm Date/Time	Incident Type
1601536	0	6/2/2016 21:40	111 - Building fire

5404 Main Street, Spring Hill, TN 37174

Incident #	Exp #	Alarm Date/Time	Incident Type
1601543	0	6/4/2016 07:04	111 - Building fire

Report Filter Settings

Report File Name: Incident Reports by Address, Summary

Record Count: 5

Filter Name: Date Range with Specific Incident Type

Filter Expression: ([AlarmDateTime] is between '6/1/2016 00:00' and '6/30/2016 23:59') And
([IncidentTypeCode] equals '111 - Building fire')



DEPARTMENT: Police

AUTHOR: Lt. Justin Whitwell

DATE: August 4, 2016

RE: CID Monthly Report for July, 2016

ATTACHMENTS: None

OVERVIEW:

Criminal Investigations:

There were 67 cases assigned to CID this month; up from 60 cases assigned in July 2015.

The predominant crime investigated this month were Vehicle Burglaries with eleven being reported.

CID had one Sex Offenders report as required by the TBI during this month. All other Sex Offenders residing in the city are in compliance with the law.

CID was assigned thirteen background checks for the month; five solicitor permits, one beer permit and seven for police employment.

Other crimes assigned to CID:

1 Aggravated Sexual Battery	2 Identity Thefts
1 Aggravated Robbery	1 Rape
1 Bomb Threat	4 Runaways
3 Burglaries	1 Sexual Battery
1 Criminal Simulation	1 Stalking
7 Domestic Related Offenses	10 Thefts
1 Fraud Investigation	6 Vandalisms
1 Fraudulent use of a Credit Card	1 Violation of Order of Protection
1 Harassment	

33 Cases assigned this month were felony related cases.

Of the cases assigned this month 11 have been closed and 5 have been placed in suspended status.

Narcotics Investigations:

There were 11 cases worked this month.

Completed cases as follows:

- ❖ 4 Possession Schedule 2 School zone
- ❖ 1 Sale of schedule 6 Marijuana
- ❖ 4 Sale of Schedule 2 Methamphetamine
- ❖ 2 Federal case with crystal meth

PROJECT/CONTRACT UPDATES:

- None

ACTION ITEMS:

- None

CONCERNS/ISSUES/PROBLEMS:

- None



DEPARTMENT: Police

AUTHOR: Lt. Kenneth Seibold

DATE: July 31, 2016

RE: Field Operations Monthly Statistics for July, 2016

ATTACHMENTS: None

OVERVIEW:

Field Operations:

- ❖ Created 179 incident reports.
- ❖ 2,109 Calls for service.
3,340 Total Officer Responses to calls

Performed 65 arrests

- Male – 47
- Female – 18
- Unknown - 0
- White – 50
- Black – 8
- Other – 7

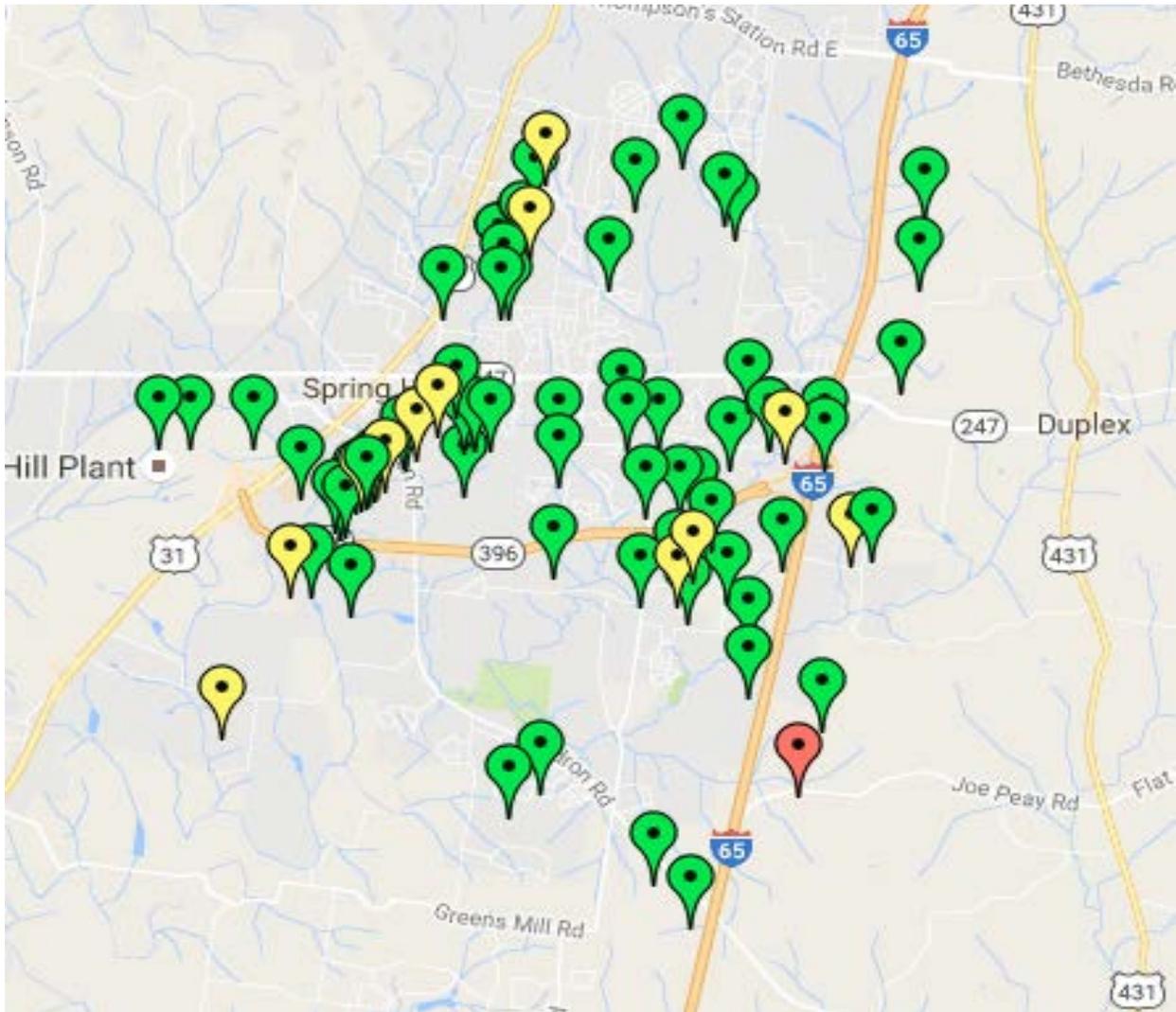
- ❖ Conducted 594 traffic stops

- ❖ Wrote 84 citations
 - 103 Total violations

- ❖ Responded to 87 accidents
 - 71 of the accidents were property damage only.
 - 15 of the accidents involved injuries.
 - 1 accidents resulted in fatality.
 - Total of 21 injuries.

Average number of Police Officers on shift 4.

Location of accidents



Patrol responded to the following incidents:

Type	Description	Calls
370	911 HANGUP	11
326	911 MISDIAL 911	8
327	911 OPEN LINE 911O	39
341	ABANDONED VEHICLE SIG19	17
222	ACCIDENT DELAYED REPORT 1045D	3
223	ACCIDENT INJURY 1046	11
221	ACCIDENT/PROPERTY DAMAGE 1045	83
356	ADVISE LEGALS SIG34	31
315	ANIMAL BITE/ ATTACK 03	2
352	ANIMAL COMPLAINT SIG30	20
342	ASSIST AGENCY SIG20A	21
343	ASSIST CITIZEN SIG20C	16
344	ASSIST MOTORIST SIG20M	91
243	ATTEMPTED SUICIDE 1060	7
251	B&E BUSINESS 1066	3
254	B&E RESIDENCE 1067	3
256	B&E RESIDENCE/ IN PROGRESS 1067P	1
257	B&E VEHICLE 1068	12
320	BACK PAIN 05	1
335	BLOCKED DRIVE SIG13	1
336	BLOCKED ROAD SIG14	6
329	BOLO	64
297	BOMB/EXPLOSIVES 1099	1
237	BURGLAR ALARM 1057B	85
2	BUSINESS ESCORT 1014B	143
367	CAD REPORT ONLY SIG38	4
324	CARDIAC/RESPIRATORY DEATH 09	2
298	CHOKING 11	1
5	CIVIL ESCORT 1014C	21
267	COMMUNITY POLICING/ VOLUNTARY CONTACT 1077	9
218	CONDUCT INVESTIGATION 1043	41
266	CONSTRUCTION VIOLATION 1076	1
291	CUSTODY ISSUE 1092	2
353	DEBRIS IN ROADWAY SIG31	24
351	DELIVER A MESSAGE SIG29	2
279	DISTURBANCE 1085	2
274	DOMESTIC 1083	13

275	DOMESTIC/ IN PROGRESS 1083P	5
224	DRIVING UNDER THE INFLUENCE 1049	4
359	DRUG RELATED SIG40	3
304	FALLS 17	1
242	FIGHT 1059	4
278	FIRE 1086	1
239	FIRE ALARM 1057F	1
295	FIREWORKS 1095	77
355	FOLLOW-UP SIG33	13
262	FORGERY/BADCHECK/COUNTERFEIT 1071	3
216	FOUND CHILD 1041F	2
6	FUNERAL ESCORT 1014F	3
323	HAZMAT 08	2
229	HIT AND RUN 1053	10
268	ID FRAUD 1078	11
337	ILLEGAL PARKING SIG15	15
277	JUVENILE PROBLE/ IN PROGRESS 1084P	19
276	JUVENILE PROBLEM 1084	5
234	LARCENY/THEFT 1055	21
334	LITTERING / DUMPING SIG10	1
350	LOST/FOUND PROPERTY SIG28	15
7	MENTAL ESCORT 1014M	1
285	MENTAL PATIENT 1087	2
214	MISSING ADULT 1041A	1
215	MISSING CHILD 1041C	1
258	NEIGHBOR DISPUTE 1069	5
264	NOISE COMPLAINT 1074	7
219	ODOR INVESTIGATION 1043O	1
345	OPEN DOOR SIG21	3
310	OVERDOSE/POISONING - ACCIDENTAL 23	2
241	PANIC ALARM 1057P	11
293	PHYSICAL ASSAULT 1094	11
296	PROPERTY CHECK 1096	122
368	PUBLICLY INTOXICATED PERSON 1058	9
249	RAPE 1065	1
339	RECKLESS DRIVING SIG17	21
372	ROAD RAGE 1034	1
369	RUNAWAY JUVENILE	5
294	SEXUAL ASSAULT 1094S	3
260	SHOPLIFTER 1070	4
213	SHOTS FIRED 1038	5
9	SOLICITOR 1016	12
375	STOLEN VEHICLE	5
358	STORM DAMAGE/NATURAL DISASTER	1

	SIG36	
314	STROKE 28	1
282	STRUCTURE FIRE 1086S	1
288	SUSPICIOUS PERSON 1090	45
289	SUSPICIOUS VEHICLE 1090V	79
360	TEST	1
211	THREATEN/HARASS 1032	10
349	TRAFFIC CONTROL SIG 27	29
333	TRAFFIC LIGHT/PUBLIC WORKS REQ SIG1	9
286	TRAFFIC STOP 1088	594
362	TRANSFER MAURY	1
316	TRAUMATIC INJURY 30	1
212	TRESPASSING 1037	6
317	UNCONSCIOUS/ FAINTING 31	1
11	UNWANTED SUBJECT 1017	4
265	VANDALISM 1075	22
284	VEHICLE FIRE 1086V	1
373	VERBAL DOMESTIC 1083	6
357	WARRANT SERVICE SIG35	1
371	WATER CALL	2
269	WELFARE CHECK 1079	38
1	WIRES DOWN 1022	5
	Total	2109

❖ **Traffic Unit**

- Investigating 1 CIRT calls regarding major motor vehicle accident / fatality.
- Performed maintenance and equipment installation on SRV 1 and other traffic related equipment.
- Continued THSO grant writing process.
- Assisted Patrol with calls for service.

➤ **C.I.R.T:** The Critical Incident Response Team was called upon 1 time this month regarding major motor vehicle accidents.

➤ **S.R.T:** No call out.



DEPARTMENT: SUPPORT SERVICES
AUTHOR: LT. SHAUNA DOOLEY
DATE: August 2, 2016
RE: July Report
ATTACHMENTS:

Lt. Dooley / Jason Lovett:

- On June 30th, July 6th and July 7th, the Chief's conducted their interviews on seventeen (17) applicants. Victor Lay interviewed the seven (7) applicants selected by the Chief. All applicants are currently in the process of the background investigation. We are hoping to get these applicants started on September 12th.
- I (Dooley) conducted the July monthly audit on July 20th. I reviewed 10 items from 2016. These are the things I look for:
 - Could I locate the paperwork? Is it completed correctly?
 - Was the computer entry correct? Was the location correct?
 - Could I find the item? Was it packaged correctly?
 - Was policy followed?
- I have created an Access Database for police applicants. This will hopefully assist me with tracking all applicants from this point forward and allow various searches such as sex and race. I can also look back and see what stage the applicant finished.
- I have conducted research on our Fleet Maintenance Pro software program and found that the system could be utilized throughout the city, to include the city garage. The system has numerous capabilities that are currently being underutilized, in which I am working towards making changes. The software can be set up for each department, track inventory of parts for the city garage, create invoices and work orders. A security feature can be put in place to limit access to various users.
- Jason Lovett has spent numerous hours researching land for a range, since we are required to be off our current range by September. We must have a range by September for our new hires to get trained and qualified on the three weapon systems. As of now, all the items/storage boxes from the range will be moved to Police HQ.
- Until a range can be located, all open range days and SRT Training have been placed on hold.
- Seven guns have been ordered and ammunition is on backorder. Received 3 shotguns.
- Working on the purchasing equipment and plan for the officers.
- We received 5 desks throughout the department, two of which went to Support Services. These desks contain more storage area and are in like-new condition.



- We posted for the opening of Bicycle Patrol Officer. Selections should be made next month.
- Each employee was requested to watch the two-hour Civility Training video.
- **Line of Deaths by gunfire is up 83% for 2016. In all of 2015, there were 39 deaths by gunfire and 2016 currently has 33.**

PROJECT UPDATES:

- Looking for Land for a range
- In service training for Agitated Chaotic Events and PTSD training August 22-26.
- In service training for Legal Updates and Fingerprinting September 26-30.
- In service training for Emergency Vehicle Operations October 17-21.

Evidence: Roger & Melissa

- A total of 31 items were submitted to the TBI Lab.
- A total of 115 items were submitted into the Evidence Room.
- We removed 17.75 pills from the Prescription Drug Box.
- We returned 10 items from the evidence room to their owners.
- A total of 5 Right of Refusals was issued.
- We destroyed 0 items.
- The March audit revealed a 5% error rate.
- We continue to work through some issues with Tyler

Fleet Maintenance: Don Greve

- We rotated tires on 0 vehicle.
- There were 4 vehicles needing oil change.
- Two vehicles needed work on the A/C compressor, which has been a common occurrence with the newer vehicles. One vehicle also needed a fan motor and another needed a battery.
- No vehicles were damaged this month.
- Seven people were fingerprinted for \$140.00.
- No vehicles were sold on GovDeals, however, a list of eight cars were sent for resolution.
- Ofc. Greve was called out for 1 CIRT call of a fatal crash on July 28th.
- The Special Response Vehicle now has communication equipment and additional lighting.
- Three remaining Caprices were assigned. Some officers were moved around in order to keep them in newer, low mileage vehicles.
- Two Traverses are at On-Duty for lighting and equipment.
- Currently working on the new budget for the new patrol units and equipment.

COPS: Mary Beth Lovett

- Beth assists with Traffic Court every Tuesday.



- Citizens Police Academy attendees completed Day to Day Operations, Firearms, Traffic Stops, Domestic Violence and Human Trafficking for the month of July.
- July 9th Summer Read Program at Spring Hill Elementary, approx. 200 kids
- July 13th Spring Hill Academy Day School tour of PD and safety discussion, approximately 10 kids.
- July 19th Girl Scout Group at Restoration Church safety discussion
- July 23rd Camp Hope for burned children in Columbia
- July 25th-28th Refuge Sports Camp for Kids at Evans Park
- Completed 7 Juvenile Detention Checks
- Conducted 5 car seat inspections with zero replacements.
- Assisted patrol on July 15th and 21st on vehicle crash and solicitor call

Upcoming:

- **August 4th Car seat check at Rainbow Daycare**
- **August 27th Teaching Maury County Fire Domestic Violence**
- **October 4th SHPD Night Out Against Crime Event**

**MONTHLY WATER REPORT
SPRING HILL WATER DEPARTMENT
MONTH OF JULY 2016**

New Customers Added	<u>274</u>
Number of New Meters Installed (Builders)	<u>51</u>
Irrigation Meters	<u>4</u>
Revenue Generated from Water Bill Payments	<u>\$1,037,848.38</u>
Revenue from Water Taps, Sewer Taps, & Meters Sold	<u>\$153,775.00</u>
Number of cut-offs	<u>81</u>

Department: Wastewater Plant

Travis Massey, WWTP Superintendent

August 1, 2016

July Monthly Staff Report

For the month we received 4.16 inches of rain. The average Influent flow was 2.6498 MGD. The Effluent average flow was 2.0289 MGD. Sent 5.4 MGD to golf course. The BOD effluent average was 1.10 mg/l and the permit limit is 3.0 mg/l, the removal was 99.60%. The Ammonia effluent average was 0.01 mg/l and the permit limit is 1.1 mg/l, the removal was 99.99%. The Suspend Solids effluent average was 0.279 mg/l and the permit limit is 30.0 mg/l, the removal was 99.91%. The E-coli average was 1.0 colony per 100 ml and the permit limit is 126 colonies per 100 ml sample. We pressed 325.92 tons in 14 loads for an average of 23.28 tons a load. Effluent Total Nitrogen was 0.69 mg/l which is 11.77 lbs. and Total Phosphorus was 0.657 mg/l which was 11.77 lbs. Influent Total Nitrogen was 32.55 mg/l which is 767.16 lbs. and Total Phosphorus was 4.50 mg/l which is 106.06 lbs.

**COMMITTEE/COMMISSION
MINUTES/REPORTS**

**SPRING HILL
MUNICIPAL PLANNING COMMISSION
REGULAR MEETING MINUTES
MONDAY, JULY 11, 2016
5:30 P.M.**

Chairman Paul Downing called the meeting to order

Members present were: Chairman Paul Downing, Alderman Duda, Matt Koss and Charles Schoenbrodt. Also present were: City Attorney Patrick Carter, Dara Sanders, Bonnie Turnbow, City Engineer, Tom Wolf. Alderman Matt Fitterer, Pat Hairston were absent. Paula Hepp arrived at 6:05 PM.

Announcement – audience members wishing to speak to an agenda item will have the opportunity to speak at the beginning of the agenda and will have five minutes to address the Planning Commission. No rebuttal remarks are permitted. Please silence all cell phones and electronic devices.

Chairman Paul Downing made the following changes on the agenda:
On the consent agenda, #17 will be moved to items 2 under Old Business.

Concerned Citizens (Non-Agenda Items) – There were no concerns citizens.

Public Comment (Agenda Items) –

Christopher Treloar—Voiced his concerns about PUD 199-2016-- The Villages at Harvest Point.

Approval of June 13, 2016 meeting minutes: Commissioner Schoenbrodt made a motion to approve the June 13, 2016 meeting minutes. Motion seconded by Commissioner Koss. Motion passed 4/0.

Approval of the agenda:

Commissioner Schoenbrodt made a motion to approve the agenda with amendments. Motion seconded by Commissioner Koss. Motion passed 4/0.

Consent Agenda: Alderman Duda made a motion to approve the Consent Agenda with Staff Comments. Motion seconded by Commissioner Schoenbrodt. Motion passed 4/0.

Bonds and Infrastructure to be considered

1. **Resolution 16-62:** Reduce and Establish Maintenance Bond Arbors at Autumn Ridge Phase 2
2. **Resolution 16-63:** Dedication of Road ROW and Public Improvements In Autumn Ridge Ph 3 Sect 3
3. **Resolution 16-64:** Release Maintenance Bond for Autumn Ridge Ph 3 Sec 3
4. **Resolution 16-65:** Dedication of Road ROW and Public Improvements In Golfview Phase 6
5. **Resolution 16-66:** Release Maintenance Bond for Golfview Ph 6.
6. **Resolution 16-67:** Release Maintenance Bond for Belshire Ph 3
7. **Resolution 16-68:** Reduce and Establish Maintenance Bond Belshire Ph 3
8. **Resolution 16-69:** Reduce and Establish Maintenance LOC Meadowbrook Ph 4 Sec 2
9. **Resolution 16-70:** Reduce and Establish Maintenance LOC Meadowbrook Ph 4 Sec 2
10. **Resolution 16-71:** Release Maintenance Bond for Meadowbrook Ph 4 Sec 3
11. **Resolution 16-72:** Reduce and Establish Maintenance Bond Meadowbrook Ph 4 Sec 3
12. **Resolution 16-73:** Release Maintenance Bond for Brixworth Ph 2

13. **Resolution 16-85:** Establish Maintenance Bond for Autumn Ridge Ph 6.
14. **Resolution 16-86:** Establish Performance Bond for Autumn Ridge Ph 6
15. **Resolution 16-87:** Establish Maintenance Bond for Autumn Ridge Ph 7
16. **Resolution 16-88:** Establish Performance Bond for Autumn Ridge Ph 7

~~17. **FPL 202-2016:** Submitted by Anderson, Delk, Epps and Associates, Inc. for Meadowbrook Phase 4, Section 6A. The property is zoned R-2, Medium Density Residential, Planned Unit Development and contains approximately 2.311 acres. The applicant requests final plat approval for 4 single family residential lots.~~

MOVED UNDER OLD BUSINESS.

18. **FPL 204-2016:** Submitted by Anderson, Delk, Epps and Associates, Inc. for Autumn Ridge Phase 6. The property is zoned R-2, Medium Density Residential, and contains approximately 4.65 acres. The applicant requests final plat approval for 11 single family residential lots.
19. **FPL 205-2016:** Submitted by Anderson, Delk, Epps and Associates, Inc. for Autumn Ridge Phase 7. The property is zoned R-2, Medium Density Residential, and contains approximately 11.97 acres. The applicant requests final plat approval for 31 single family residential lots.
20. **STP 206-2016:** Submitted by Anderson, Delk, Epps and Associates, Inc. for property located on 2105 Wall St. The property is zoned B-4 Central Business District, and contains approximately 1.705 acres. The applicant requests site plan approval for 9,800 square foot building with 72 parking spaces.
21. **PPL 207-2016:** Submitted by Anderson, Delk, Epps and Associates, Inc. for Autumn Ridge Phase 8. The property is zoned R-2 Medium Density Residential and contains approximately 29.30 acres. The applicant requests preliminary plat approval for 65 single family residential lots.
22. **PPL 210-2016:** Submitted by Anderson, Delk, Epps and Associates, Inc. for Arbors at Autumn Ridge Phase 11. The property is zoned R-2 Medium Density Residential Planned Unit Development and contains approximately 9.89 acres. The applicant requests preliminary plat approval for 24 single family residential lots.
23. **PPL 209-2016:** Submitted by Anderson, Delk, Epps and Associates, Inc. for Arbors at Autumn Ridge Phase 12. The property is zoned R-2 Medium Density Residential Planned Unit Development and contains approximately 13.73 acres. The applicant requests preliminary plat approval for 49 single family residential lots.
24. **PPL 208-2016:** Submitted by Anderson, Delk, Epps and Associates, Inc. for Arbors at Autumn Ridge Phase 13. The property is zoned R-2 Medium Density Residential Planned Unit Development and contains approximately 1.98 acres. The applicant requests preliminary plat approval for 6 single family residential lots.

Old Business:

1. **PUD 199-2016:** Submitted by LittleJohn for property located Beechcroft Road and Cleburne Road. The property is zoned AG, Agriculture, and R-2, Medium Density Residential, and contains approximately 473.13 acres. The applicant requests Planned Unit Development approval for 961 single family residential lots and 232 multi-family units for The Villages at Harvest Point.

Staff Recommendation: Based on the findings herein, staff recommends forwarding PUD 199-2016 to the Board of Mayor and Aldermen with a recommendation for approval, subject to the following conditions of approval:

1. In addition to the street improvements internal to the project boundary, Beechcroft Road and Cleburne Road shall be improved in accordance with the recommendations of the traffic impact study as follows –

A. Intersection of Beechcroft Road and Cleburne Road – to be completed by 20% buildout

- 1) A westbound left turn lane with 100 feet of storage on Beechcroft Road.
- 2) An eastbound right turn lane with 125 feet of storage on Beechcroft Road.
- 3) A northbound left turn lane with 100 feet of storage on Cleburne Road
- 4) A northbound right turn lane with 250 of storage on Cleburne Road.

Each of these turn lanes should be 11 feet wide and should be designed and constructed according to AASHTO standards. Also, both of the northbound turn lanes should intersect Beechcroft Road at a 90 degree angle and be controlled by a stop sign.

B. Intersection of Beechcroft Road and Cleburne Road – to be completed by 70% buildout

A traffic signal should be installed at the intersection of Beechcroft Road and Cleburne Road. This traffic signal should be designed and constructed to include a protected-plus-permitted signal phase for westbound motorists and a right turn overlap signal phase for northbound motorists.

C. Intersection of Beechcroft Road and the Project Access –

- 1) A westbound left turn lane with 100 feet of storage on Beechcroft Road.
- 2) An eastbound right turn lane with 125 feet of storage on Beechcroft Road.
- 3) A northbound left turn lane with 50 feet of storage on the project access.
- 4) A northbound right turn lane with 100 of storage on the project access.

Each of these turn lanes should be 11 feet wide and should be designed and constructed according to AASHTO standards.

D. Intersection of Cleburne Road and the Northern Project Access

- 1) A northbound left turn lane with 75 feet of storage on Cleburne Road.
- 2) A southbound right turn lane with 125 feet of storage on Cleburne Road.
- 3) An eastbound left turn lane with 100 feet of storage on the project access.

4) An eastbound right turn lane with 50 of storage on the project access.

Each of these turn lanes should be 11 feet wide and should be designed and constructed according to AASHTO standards.

E. Intersection of Cleburne Road and the Southern Project Access

1) A southbound right turn lane with 125 feet of storage on Cleburne Road.

2) An eastbound left turn lane with 100 feet of storage on the project access.

3) An eastbound right turn lane with 50 of storage on the project access.

Each of these turn lanes should be 11 feet wide and should be designed and constructed according to AASHTO standards.

F. Off-site improvements to Beechcroft Road, in accordance with the traffic impact study, shall be evaluated at 50% buildout of the project.

G. Off-site improvements to Cleburne Road, in accordance with the traffic impact study, shall be evaluated at 50% buildout of the project.

2. All requirements outlined in the "pattern book" shall apply. Zoning and subdivision regulation relief not specifically identified in the pattern book shall require BOMA approval.
3. All properties within the project shall be access by the lower street classification or by alley, where applicable
4. All trails shall be constructed at the time of infrastructure installation required for each phase. Trails shall be constructed to the standards outlined in the City's Bicycle and Greenway Plan. Unless dedicated to the City, all trails shall be located within a public access easement and shall be maintained by the HOA.
5. In accordance with the City's Provisions Governing Planned Unit Development, all open space shall be maintained by the HOA.
6. The applicant shall be required to submit detailed landscape plans for all required landscape buffer areas.
7. All required landscape buffer area shall be planted to the minimum standards of the City's zoning ordinance, shall be irrigated, and shall be maintained by the HOA.
8. Pursuant to Section 2 of the Provisions Governing Planned Unit Developments, the setbacks for Lots 852-871, 898-905, 908, 909, and 930-948 shall adhere to those of the adjacent R-1 zoning district.
9. Approval of this preliminary development plan shall remain valid for a period of three (3) years, during which time a final development plan shall be submitted for Planning Commission review and approval.
10. Modification to the approved preliminary development plan may require Planning Commission and/or Board of Mayor and Aldermen approval prior to the submittal of a final development plan.

Alderman Duda made a motion to forward **PUD 199-2016** to the Board of Mayor and Aldermen with a recommendation for approval, subject to the staff conditions. Motion seconded by Commissioner Koss. Motion passed 4/0/1 with Commissioner Hepp abstaining.

2. **FPL 202-2016:** Submitted by Anderson, Delk, Epps and Associates, Inc. for Meadowbrook Phase 4, Section 6A. The property is zoned R-2, Medium Density Residential, Planned Unit Development and contains approximately 2.311 acres. The applicant requests final plat approval for 4 single family residential lots

Public Works/Engineering Conditions:

- Chimalis Drive is labeled a collector street, requires minimum pavement width of 26 feet.

Staff Recommendation:

1. Chimalis Drive shall be constructed with a minimum pavement width of 26 feet, in accordance with the City's subdivision regulations.
2. Final Plat approval shall remain valid for a period of two (2) years, during which time all signatures shall be obtain and the plat recorded.
3. Modification to the plat may require Planning Commission approval prior to recordation.

Commissioner Schoenbrodt made a motion to approve **FPL 202-2016** with staff conditions. Motion seconded by Commissioner Koss. Motion passed 5/0

New Business:

1. **Resolution 16-74:** Dedication of Road ROW and Public Improvements In Woodside Ph 1A, 2A and 2B.

Alderman Duda made a motion to approve **Resolution 16-74**. Motion seconded by Commissioner Hepp. Motion passed 5/0

2. **Resolution 16-75:** Release Maintenance Bond Woodside Ph 1A, 2A, 2B

Alderman Duda made a motion to approve **Resolution 16-75**. Motion seconded by Commissioner Hepp. Motion passed 5/0

3. **Resolution 16-76:** Dedication of Road ROW and Public Improvements In Woodside Ph 1B

Alderman Duda made a motion to approve **Resolution 16-76**. Motion seconded by Commissioner Hepp. Motion passed 5/0

4. **Resolution 16-77:** Release Maintenance Bond for Woodside Phase 1B

Alderman Duda made a motion to approve **Resolution 16-77**. Motion seconded by Commissioner Hepp. Motion passed 5/0

5. **Resolution 16-78:** Release Performance Bond for Woodside Phase 1B

Alderman Duda made a motion to approve **Resolution 16-78**. Motion seconded by Commissioner Hepp. Motion passed 5/0

6. **Resolution 16-79:** Dedication of Road ROW and Public Improvements In Woodside Ph 1

Alderman Duda made a motion to approve **Resolution 16-79**. Motion seconded by Commissioner Hepp. Motion passed 5/0

7. **Resolution 16-80:** Release Maintenance Bond for Woodside Phase 1C

Alderman Duda made a motion to approve **Resolution 16-80**. Motion seconded by Commissioner Hepp. Motion passed 5/0

8. Resolution 16-81: Release Performance Bond for Woodside Phase 1C

Alderman Duda made a motion to approve **Resolution 16-81**. Motion seconded by Commissioner Hepp. Motion passed 5/0

9. Resolution 16-82: Dedication of Road ROW and Public Improvements In Woodside Ph 3

Alderman Duda made a motion to defer **Resolution 16-82**. Motion seconded by Commissioner Hepp. Motion passed 5/0

10. Resolution 16-83: Release Maintenance Bond for Woodside Phase 3

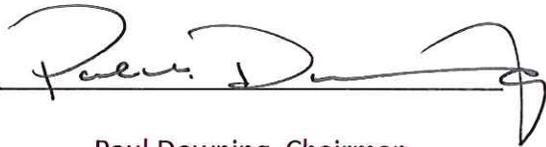
Alderman Duda made a motion to defer **Resolution 16-83**. Motion seconded by Commissioner Hepp. Motion passed 5/0

11. Resolution 16-84: Release Performance Bond for Woodside Phase 3

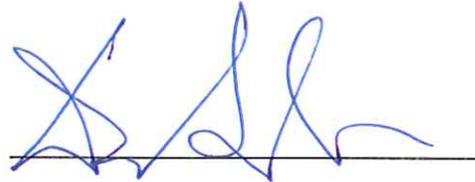
Alderman Duda made a motion to approve **Resolution 16-84**. Motion seconded by Commissioner Hepp. Motion passed 5/0

Other Business

Adjourn

A handwritten signature in black ink, appearing to read "Paul Downing", written over a horizontal line.

Paul Downing, Chairman

A handwritten signature in blue ink, appearing to read "Dara Sanders", written over a horizontal line.

Dara Sanders P.C. Secretary

**CONSENT
AGENDA
ITEMS**

RESOLUTION 16-502

**TO APPROVE LAND ACQUISITION PURCHASES FOR
(4) TRACTS OF THE DUPLEX ROAD WIDENING PROJECT**

WHEREAS, the City of Spring Hill is in the process of widening Duplex Road;
and

WHEREAS, in order to complete the project, the City must acquire land in the
form of right-of-ways and easements from property owners along Duplex Road; and

WHEREAS, the City is working with Tennessee Department of Transportation
on this project, known as State Project Number 60LPLM-F2-019 and Federal Project
Number STP-M-247(9); and

WHEREAS, the cost of the acquisitions will be \$92,400.00 to the tract owners
and \$2,000.00 to the closing agents closing costs.

NOW THEREFORE, BE IT RESOLVED, that the City of Spring Hill, Board
of Mayor and Aldermen authorizes a total land acquisition purchases in the amount of
\$94,400.00 for (4) tracts of the Duplex Road widening project.

Passed and adopted this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

Click here to view the
Supplemental Information

Regarding Resolution 16-502

RESOLUTION 16-106

**RESOLUTION TO APPROVE A SPECIAL EVENTS PERMIT FOR THE
SPRING HILL ART WALK**

WHEREAS, Title 16, Chapter 3, of the Spring Hill Municipal code requires a permit for special events held in the city; and

WHEREAS, the Spring Hill Arts Center, representing the Spring Hill Art Walk, has made application to the Spring Hill Board of Mayor and Aldermen; and

WHEREAS, the City of Spring Hill staff recommends approval.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF MAYOR AND ALDERMEN OF THE CITY OF SPRING HILL, TENNESSEE, approves a Special Event Application and authorizes staff to issue a permit for the Spring Hill Art Walk to be held on September 17, 2016.

Passed and adopted this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

CITY OF SPRING HILL
Special Events Application
Checklist

Event: Spring Hill Art Walk

Date of Event: 9/17/2016

Application Completed:

Certificate of Insurance

Street Closure Permit

Business License Verified

Beer Permit Requested

Permit Review Fee Paid

Approved

Denied

DATE: _____



CITY OF SPRING HILL SPECIAL EVENT APPLICATION

PERMIT # _____

Application Date: 10/30/16

Event Date: 9/17/16

Street Closure Required: Yes / No

IF yes, Street Closure Permit must be attached. ✓

FEES REQUIRED:

Permit Review Fee: \$20.00

Deposit/Bond Required - Determined by City Administrator: Amount: \$ _____

EVENT DETAILS:

NAME OF EVENT: Spring Hill Art Walk

Applicant/Organization: Arica Robinson with Spring Hill Art Center

* Organization shall provide Certificate of Insurance, no less than \$250,000. Copy Attached: ✓
** Provide copy of business license. Copy Attached: _____

Representative Name & Contact Information: PH# 931-446-2484 EMAIL Arica@kevinrobinsondesign.com
2612 Sabin Way Spring Hill TN 37174
(Street) (City) (State) (Zip)

Event Location: Begins at SHAC art gallery 1220 School St follows main st. to Ferguson Hall.

Time event will begin: 3pm Time event will end: 8 pm

Time & place event will: assemble 9am Ferguson Hall Disassemble: 9pm Ferguson Hall

Upon signing this application, the applicants shall agree to assume the defense of and indemnify and save harmless the city, its aldermen, boards, commissions, officers, employees and agents, from all suits, actions, damages or claims to which the city may be subjected of any kind or nature whatsoever resulting from, caused by, arising out of or as a consequence of special event and the activities permitted in connection therewith.

Arica Robinson Print Name of Event Applicant Arica Robinson Signature

Notes/Instructions

CITY ADMINISTRATOR APPROVAL DATE
PERMIT ISSUED DATE



Spring Hill Police Department
3636-A Royal Park Blvd.
Spring Hill, TN 37174

Temporary Street Closure Application

The SHPD must receive completed applications at least **10 days** in advance of the scheduled date of closure. (Municipal Code 16-304)

A "temporary street closure" shall refer to a condition created by special event or private gathering to be conducted within or on any street or intersection in the City of Spring Hill that requires all lanes of travel to be closed for public safety purpose. Any request for temporary street closure(s) is deemed a request for a special event and requires a special event permit. Any temporary street closure authorized in whole or in part by the city for municipal purposes, including but not limited to, conveyance of traffic, or travel is exempt from this chapter. (Municipal Code 16-301)

1. Date(s) of event: September 17th, 2016

2. Beginning and ending time of closure:
9-16-16 morning till 9-17-17 9pm

3. Block to be closed: Ferguson Rd. between Main St and School St.
 Example: Buckner Ln. between Duplex Rd. and Stewart Campbell Pt.

4. Applicant Information:

Name: Arica Robinson Address: 2612 Sabin Way

Phone Number: 931-446-2484 Email: arica@kevinrobinsondesign.com

5. Please provide a description of the event below. Include information regarding: a) the type of event planned, b) number of people attending the event (estimate), c) activities/entertainment to be included at the event (*this application is not a waiver for the City's ordinance on sound amplification equipment or the City's ordinance on noise as outlined in title 11 chapter 4.*), d) whether or not sales of food, beverages (including alcohol/beer), or other merchandise will occur, e) will the street closure occupy all or only a portion of the street or intersection involved:

Spring Hill Art Walk will include artist showing art work at

Various locations along Main St. from Duplex Rd. to TN Children's Home. Food trucks and local musicians will also be participating in event. Road closure is to protect citizens walking the route and possibly for chalk art the day before event.

6. Type of barricades/warning devices the applicant is planning on utilizing for the closure:

Road closed sign

7. Contact Information for person/organization responsible for collection/removal of all trash, garbage, and litter caused by or arising out of the event or road closure (Municipal Code 16-305):

Name: Arica Robinson of Phone Number: 931-446-2484
Spring Hill Art Center

Standards for Issuance of Permit

1. The applicant has not knowingly and with intent to deceive, made any false, misleading or fraudulent statements of material fact in the application for a permit or in any other document required.
2. The time, duration, and size of the special event will not substantially disrupt the orderly and safe movement of other traffic or create a public nuisance.
3. The event is of a size or nature such that it will not require the diversion of so great a number of public safety officers of the city as to prevent normal public safety protection to the city.
4. The concentration of persons will not unduly interfere with proper fire and police protection of, or ambulance service to, areas contiguous to such event.
5. The event will not unduly interfere with the movement of firefighting equipment on the way to a fire or 911 call.
6. The event will not unduly interfere with the orderly operation of parks, hospitals, churches, schools, or other public and quasi-public institutions in the city.
7. Half of the roadway's width for the entire length of the closure shall remain clear of objects (tables, BBQ grills, etc.) in order to accommodate public safety vehicles in the event of an emergency.

✓ Applicant Name (Print): Arica Robinson

✓ Applicant Signature and Date: Arica Robinson 6-15-16

Chief of Police Signature and Date: [Signature] / 7-22-16

Reviewed by City Administrator On: _____

ART WALK

2016

SPRING HILL



RESOLUTION 16-107

A RESOLUTION TO AUTHORIZE THE DISPOSAL OF POLICE VEHICLES FOR THE POLICE DEPARTMENT

WHEREAS, the Spring Hill Police Department has older model police vehicles that have high mileage or are inoperable, and are no longer needed for police services; and

WHEREAS, the Spring Hill Police Department requests to sell the vehicles at auction; and

WHEREAS, the following vehicles are recommended to be sold; and

Year	Make	VIN	Mileage	Condition
2009	Dodge Charger	45187	115656	Lifter/Cam Damaged
2001	Dodge Intrepid	45578	166420	Worn Out
2007	Chevy Impala	16523	138217	Bearings in Cam Going Out
2007	Chevy Impala	16555	141387	Blown Transmission
2006	Chrysler 300	303337	170483	Worn Out
2007	Chevy Impala	16332	134459	Worn Out
2007	Chevy Impala	16437	119210	Worn Out
2007	Chevy Impala	25718	134521	Worn Out

NOW, THEREFORE BE IT RESOLVED, that the City of Spring Hill authorizes the police department to dispose of said police vehicles by selling at auction, Gov Deals, as recommended by the Budget and Finance Advisory Committee on August 1, 2016.

Passed and adopted by the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee on the 15th, day of August, 2016.

ATTEST:

Rick Graham, Mayor

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

RESOLUTION 16-108

**A RESOLUTION AUTHORIZING AN EXPENDITURE FOR THE
ELECTRICAL SYSTEM UPGRADE OF THE CITY BUILDING AT 407
MCLEMORE AVENUE**

WHEREAS, there is a critical need to upgrade the electrical service and wiring in the city building at 407 Mclemore Avenue; and

WHEREAS, the City of Spring Hill has advertised for proposals for upgrades of the electrical service and wiring from licensed, qualified contractors by sealed bid on July 22, 2016; and

NOW, THEREFORE BE IT RESOLVED, by the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee that an expenditure of approximately \$10,300.00 is hereby authorized for the electrical upgrade from Lee Company, Franklin, TN, as recommended by staff after review of all bids.

Passed and adopted by the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee, this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick M. Carter, City Attorney



REQUEST: *Approval of Resolution 16-108*
SUBMITTED BY: John Pewitt, GIS/IT Director
DATE: 7/28/16
RE: Upgrade electrical system at Mclemore building.
ATTACHMENTS: Bid submitted

PURPOSE:

To upgrade the electrical system in the city building at 407 Mclemore Ave.

BACKGROUND:

The Mclemore building currently has a 110AMP service. That was adequate for the previous use of the building to run a couple of computers and lights. The building is being renovated to house a different department with electrical needs that exceed that.

Staff received bid to upgrade electrical service to 200AMP service, install an Auto Transfer Switch for a generator to be install in the future, and provide additional electrical drops for outlets and lights and new HV/AC systems.

FINANCIAL IMPACT:

Bid came in at \$10,300.00. This is a budgeted item for the GIS/IT Dept.

STAFF RECOMMENDATION:

Favorable Recommendation. The electrical upgrade to the building is a key factor for future plans for this building and the city.

ACTION REQUIRED (INCLUDE DEADLINE /PRIORITY):

BFAC recommendation to BOMA to approve Resolution 16-108 to authorize expenditure of funds for electrical upgrades at the Mclemore Ave building.

A handwritten signature in blue ink, appearing to read "John B. Pewitt", is positioned above the printed name.

John B. Pewitt,
GIS/IT Director

BID SUMMARY
GIS/IT MCLEMORE PROJECTS
FRIDAY, JULY 22, 2016
2:00 P.M.

PROJECT: Roof and Gutters

COMPANY	TOTAL BID
Echo Construction	\$ 5,975.00
Ritco Inc.	\$ 4,883.36
Music City Roofers	\$ 6,963.00
Clyde Howell Roofing	\$ 4,913.00

PROJECT: Emergency Generator

COMPANY	TOTAL BID
Lee Company	\$ 22,134.00

PROJECT: HVAC System

COMPANY	TOTAL BID
Lee Company	\$ 13,740.00

PROJECT: Electrical Upgrade

COMPANY	TOTAL BID
Lee Company	\$ 10,300.00

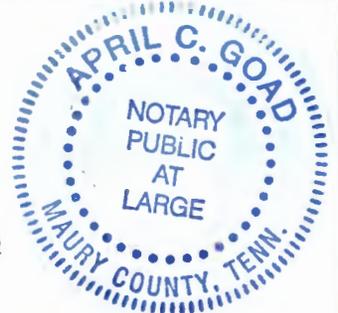
CERTIFICATION:

State of Tennessee
Maury County
City of Spring Hill

I hereby certify that this is a true copy of the original documents.

Description: Bid Results-McLemore Road Building Projects (GIS/IT)

This, the 22nd day of July, 2016.



April C. Goad

April C. Goad, Notary Public
City Recorder, City of Spring Hill

My Commission Expires: June 28, 2020

UPGRADE OF ELECTRICAL SERVICE AT 407 MCLEMORE AVE
SPECIFICATIONS AND ADDITIONAL QUESTIONS

1.00 GENERAL

The minimum requirements and the specification for the installation, as well as certain requests for information to be provided by Vendor as part of its proposal, are set forth below.

2.00 REQUIREMENTS FOR THE UPGRADE OF ELECTRICAL SERVICE AT 407 MCLEMORE AVE

- 2.01 Upgrade electrical service from 100AMP to 200AMP service.
- 2.02 Provide and install wiring and connections for Auto Transfer Switch for 10KW 200-amp, natural gas powered, service generator.
- 2.03 Provide and install up to 10 additional electrical drops (outlets and lights).
- 2.04 Provide and install electrical drops for new HVAC system and 4 zone control units.

Or equivalent.

3.00 ADDITIONAL INFORMATION SPECIFIC TO THIS RFP

All bids should show delivery date and be signed by company representative giving bid.

Vendor must submit the following information as part of Vendor's proposal:

If Vendor takes exception to any terms or conditions set forth in this RFP, Vendor will submit a list of the exceptions.

4.00 PRICING AND DELIVERY SCHEDULE

Proposal of Lee Company
(Proposer Company Name)
To: The City of Spring Hill
Ref.: Upgrade of Electrical Service at 407 Mclemore Ave

Ladies and Gentlemen:

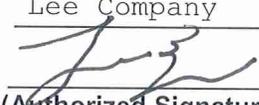
Having carefully examined all the specifications and requirements of this RFP and any attachments thereto, the undersigned proposes to upgrade the electrical service at 407 Mclemore Ave required pursuant to the above referenced Request for Proposal upon the terms quoted below.

LUMP SUM TOTAL: \$ 10,300.00

Delivery schedule of events and time periods

200 amp panel board, lighting fixtures delivery time is 2-3 weeks after receipt of purchase order. Automatic transfer switch delivery is 9-10 weeks, factory may shorten time frame.
Installation time is 1 week after delivery of automatic transfer switch.

Respectfully submitted,

Proposer: Lee Company
By: 
(Authorized Signature for Proposer)
Name: Justin Braden
Title: Vice President of Construction Sales
Date: 07/22/2016



July 22, 2016

Spring Hill City Hall
April Goad, City Recorder
199 Town Center Parkway
Spring Hill, TN 37174

RE: Upgrade of Electrical Service at 407 McLemore Ave.

Dear April,

Thank you for the opportunity to submit a proposal on the above referenced project. We have received 0 addenda at this time. We include the following clarifications & scope of work for your review.

Clarifications:

Lee Company has provided a scope of work that shall provide you with a complete and working Electrical system. Our proposal is based on a schedule that includes normal business hours (7:00am–3:30pm) Monday – Friday. Any changes to the current scope of work, after award of the project, shall be provided via change order.

Scope of Work:

Based on our understanding of the current scope of work, Lee Company shall provide labor and material for relocation of existing lighting and new receptacles.

- Installation of one (1) 240/120 volt 200 amp electrical service.
- Installation of one (1) 200 amp 240/120 volt automatic transfer switch for future emergency generator.
- Installation of one (1) 200 amp 240/120 volt panel board.
- Installation of six (6) receptacles.
- Installation of four (4) 2x4 fluorescent lighting fixtures.
- Installation of two (2) Data outlets, conduit only.
- Installation of wiring for three (3) AC units.

Franklin
331 Mallory Station Road
Franklin, Tennessee 37067
p 615.567.1000 • f 615.567.1027

Cumberland
1140 First Avenue South
Baxter, Tennessee 38544
p 931.520.3434 • f 877.572.3856

North Alabama
26670 Success Drive SW, Ste H
Madison, Alabama 35756
p 256.353.1500 • f 256.898.3446

Bluegrass
5237 Nashville Road, Building 6
Bowling Green, Kentucky 42101
p 270.467.7000 • f 270.282.8783

leecompany.com

Exclusions:

- Overtime/Premium time wages. At this time no work is planned for weekends or after normal business hours.
- Columbia Power fees or charges
- Coordination drawings
- Temporary utilities
- Cutting and patching of new or existing finishes (millwork, sheet rock walls, and ceiling, etc.) required to accommodate new electrical installations.
- Patching and flashing of roof penetrations, roof curbs, pitch pockets, etc.
- Additional work beyond this scope of work
- Installation of low voltage wiring, devices, or equipment is not included for the following systems:
 - Voice, data, cable/TV, communications, security/access control, and fire alarm
- Cost bid and performance bonds
- Disposal cost is not included; however, we will perform general clean-up of work areas.
- Lee Company is not responsible for existing conditions, any code requirements or upgrades enforced by the local authority having jurisdiction.
- Concrete floor sawing and patching

Pricing:

Total Base Bid

\$ 10,300.00



Lee Company is a family owned business that has been operating in the southeastern U.S. since 1944. Lee Company has over 1,000 employees and is consistently ranked among the best companies to work for in several trade publications. Lee Company is also listed as one of the top 50 mechanical service companies in America.

Project experience includes healthcare, commercial, institutional, government and industrial facilities. Over the **last 5 years** Lee Company has had an average annual revenue of \$128.34 Million.

Large Construction at a Glance

- **Large Construction Projects Completed Annually:** 58 projects on average
- **Average Annual Revenue:** \$104 million on average in revenue annually.
- **Average Revenue by Project:** An average of \$1.79 million per project.
- **Projects Size Range:** From \$500k to \$22 million.

Special Products at a Glance

- **Special Projects Completed Annually:** 339 projects on average
- **Average Annual Revenue:** \$14.9 million on average in revenue annually.
- **Average Revenue by Project:** Equates to an average of \$43.9k per project.
- **Projects Size Range:** from \$330 to \$1.4 million.

Lee Company can deliver a project in a variety of methods from design/build to design/assist to plan/spec bids. Capabilities include HVAC, sheet metal, plumbing, electrical, medical gas, specialty piping and duct.

Lee Company is dedicated to staying within professional licensing requirements and holds over 410 licenses in 32 different states. Licenses and certifications range from Professional Engineer, General Contractor, Master Plumber, and HVAC Contractor to Master Electricians.



STATE OF TENNESSEE
DEPARTMENT OF
COMMERCE AND INSURANCE



ID NUMBER: 00009255
LIC STATUS: ACTIVE
EXPIRATION DATE: 10/31/2017

CONTRACTORS
CONTRACTOR
LEE COMPANY

THIS IS TO CERTIFY THAT ALL REQUIREMENTS
OF THE STATE OF TENNESSEE HAVE BEEN MET.

MANDY LINDSEY
LEE COMPANY
331 MALLORY STATION ROAD
FRANKLIN TN 37067-8257



9721866

313513

State of Tennessee

BOARD FOR LICENSING CONTRACTORS

CONTRACTOR

LEE COMPANY

*This is to certify that all requirements of the State of Tennessee
have been met.*

ID NUMBER: 00009255
LIC STATUS: ACTIVE
EXPIRATION DATE: 10/31/2017

CMC; CE; MU; BC;

UNLIMITED



IN-1313

DEPARTMENT OF
COMMERCE AND INSURANCE

**CITY OF SPRING HILL
PROPOSALS RECEIVED
FOR
McLemore Projects
Friday, July 22, 2016
2:00 P.M.**

The following proposals were received for the above referenced project:

Name/Company	Email Address
Clyde Howell Clyde Howell Roofing	clydehowellroofing@gmail.com
DAVID SWEARENGIN LEE CO.	DAVID.SWERENGIN@LEECONMPANY.COM
ERIC SPEARS	ESPEARS@SPRINGHILLTN.ORG
April Good, City of Spring Hill	agood@springhilltn.org

RESOLUTION 16-109

**A RESOLUTION AUTHORIZING AN EXPENDITURE FOR THE
INSTALLATION OF A DUCTLESS HEATING AND COOLING SYSTEM IN
THE CITY BUILDING AT 407 MCLEMORE AVENUE**

WHEREAS, there is a critical need for a Heating and Cooling System in the city building at 407 Mclemore Avenue; and

WHEREAS, the City of Spring Hill has advertised for proposals for the installation of a Ductless Heating and Cooling System from licensed, qualified contractors by sealed bid, on July 22, 2016; and

NOW, THEREFORE BE IT RESOLVED, by the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee that an expenditure of approximately \$13,740.00 is hereby authorized for the installation of a Ductless Heating and Cooling System from Lee Company, Franklin, TN, as recommended by staff after review of all bids.

Passed and adopted by the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee, this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick M. Carter, City Attorney



REQUEST: Approval of Resolution 16-109
SUBMITTED BY: John Pewitt, GIS/IT Director
DATE: 7/28/16
RE: Ductless HV/AC systems for Mclemore building.
ATTACHMENTS: Bid submitted

PURPOSE:

To install ductless heating and air conditioning systems in the city building at 407 Mclemore Ave.

BACKGROUND:

Staff currently uses 2 small window units for heating and cooling. The use of this facility has changed and it will house equipment that needs to be in a stable environmentally controlled room.

Upgrading the HV/AC system will also be more efficient in the long run.

FINANCIAL IMPACT:

Bid came in at \$13,740.00. This is a budgeted item for the GIS/IT Dept.

STAFF RECOMMENDATION:

Favorable Recommendation, systems needed to maintain equipment environment.

ACTION REQUIRED (INCLUDE DEADLINE /PRIORITY):

BFAC recommendation to BOMA to approve Resolution 16-109 to authorize expenditure of funds for installation of Ductless HV/AC systems in the Mclemore Ave building.

John B. Pewitt
GIS/IT Director

BID SUMMARY
GIS/IT MCLEMORE PROJECTS
FRIDAY, JULY 22, 2016
2:00 P.M.

PROJECT: Roof and Gutters

COMPANY		TOTAL BID
Echo Construction	\$	5,975.00
Ritco Inc.	\$	4,883.36
Music City Roofers	\$	6,963.00
Clyde Howell Roofing	\$	4,913.00

PROJECT: Emergency Generator

COMPANY		TOTAL BID
Lee Company	\$	22,134.00

PROJECT: HVAC System

COMPANY		TOTAL BID
Lee Company	\$	13,740.00

PROJECT: Electrical Upgrade

COMPANY		TOTAL BID
Lee Company	\$	10,300.00

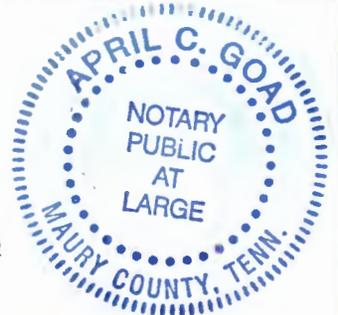
CERTIFICATION:

State of Tennessee
Maury County
City of Spring Hill

I hereby certify that this is a true copy of the original documents.

Description: Bid Results-McLemore Road Building Projects (GIS/IT)

This, the 22nd day of July, 2016.



April C. Goad

April C. Goad, Notary Public
City Recorder, City of Spring Hill

My Commission Expires: June 28, 2020

INSTALL DUCTLESS HVAC SYSTEM AT 407 MCLEMORE AVE
SPECIFICATIONS AND ADDITIONAL QUESTIONS

1.00 GENERAL

The minimum requirements and the specification for the installation, as well as certain requests for information to be provided by Vendor as part of its proposal, are set forth below.

2.00 REQUIREMENTS FOR THE INSTALL OF DUCTLESS HVAC SYSTEM AT 407 MCLEMORE AVE

2.01 Provide and install new Ductless HVAC unit (2 ton minimum) to include a 4 zone mini split H/P system.

Or equivalent.

3.00 ADDITIONAL INFORMATION SPECIFIC TO THIS RFP

All bids should show delivery date and be signed by company representative giving bid.

Vendor must submit the following information as part of Vendor's proposal:

If Vendor takes exception to any terms or conditions set forth in this RFP, Vendor will submit a list of the exceptions.

4.00 PRICING AND DELIVERY SCHEDULE

Proposal of Lee Company

(Proposer Company Name)

To: The City of Spring Hill

Ref.: Install Ductless HVAC System at 407 Mclemore Ave

Ladies and Gentlemen:

Having carefully examined all the specifications and requirements of this RFP and any attachments thereto, the undersigned proposes to install Ductless HVAC System at 407 Mclemore Ave required pursuant to the above referenced Request for Proposal upon the terms quoted below.

LUMP SUM TOTAL: \$ 13,740.00

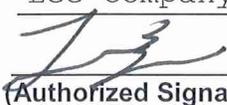
Delivery schedule of events and time periods

Work can start one week after acceptance of our proposal.

HVAC work will take approximately 7 business days to install.

Respectfully submitted,

Proposer: Lee Company

By: 
(Authorized Signature for Proposer)

Name: Justin Braden

Title: Vice President of Construction Sales

Date: 07/22/2016



July 22, 2016

Spring Hill City Hall
April Goad, City Recorder
199 Town Center Parkway
Spring Hill, TN 37174

Re: Install Ductless HVAC System at 407 McLemore Ave.

Dear April,

Thank you for the opportunity to submit a proposal on the above referenced project. We have received 0 addenda at this time. We include the following clarifications & scope of work for your review. Pricing is based on site visit July 20, 2016.

Clarifications:

Lee Company has provided a scope of work that shall provide you with a complete and working Ductless HVAC system. Our proposal is based on a schedule that includes normal business hours (7:00am–3:30pm) Monday – Friday. Any changes to the current scope of work, after award of the project, shall be provided via change order.

Scope of Work:

Based on our understanding of the current scope of work, Lee Company shall provide labor and material for:

- 2.5 ton condensing unit
- (3) Wall mounted cassettes to serve office and main room
- (1) 1.5 Ton ductless split with heating and cooling to serve the new IT room
- Ultra-lite pad for outdoor condensing units
- Refrigerant piping from outdoor units to indoor units to be ACR copper
- Evacuate and charge system per manufacturers specifications
- Condensate to spill to grade

Note: System with three indoor units must either be in heat or cool mode, each unit will not independently switch from one mode to another although you will be able to adjust temperature range on each one in that particular mode.

Franklin
331 Mallory Station Road
Franklin, Tennessee 37067
p 615.567.1000 • f 615.567.1027

Cumberland
1140 First Avenue South
Baxter, Tennessee 38544
p 931.520.3434 • f 877.572.3856

North Alabama
26670 Success Drive SW, Ste H
Madison, Alabama 35756
p 256.353.1500 • f 256.898.3446

Bluegrass
5237 Nashville Road, Building 6
Bowling Green, Kentucky 42101
p 270.467.7000 • f 270.282.8783

leecompany.com



Lee Company is a family owned business that has been operating in the southeastern U.S. since 1944. Lee Company has over 1,000 employees and is consistently ranked among the best companies to work for in several trade publications. Lee Company is also listed as one of the top 50 mechanical service companies in America.

Project experience includes healthcare, commercial, institutional, government and industrial facilities. Over the **last 5 years** Lee Company has had an average annual revenue of \$128.34 Million.

Large Construction at a Glance

- **Large Construction Projects Completed Annually:** 58 projects on average
- **Average Annual Revenue:** \$104 million on average in revenue annually.
- **Average Revenue by Project:** An average of \$1.79 million per project.
- **Projects Size Range:** From \$500k to \$22 million.

Special Products at a Glance

- **Special Projects Completed Annually:** 339 projects on average
- **Average Annual Revenue:** \$14.9 million on average in revenue annually.
- **Average Revenue by Project:** Equates to an average of \$43.9k per project.
- **Projects Size Range:** from \$330 to \$1.4 million.

Lee Company can deliver a project in a variety of methods from design/build to design/assist to plan/spec bids. Capabilities include HVAC, sheet metal, plumbing, electrical, medical gas, specialty piping and duct.

Lee Company is dedicated to staying within professional licensing requirements and holds over 410 licenses in 32 different states. Licenses and certifications range from Professional Engineer, General Contractor, Master Plumber, and HVAC Contractor to Master Electricians.



STATE OF TENNESSEE
DEPARTMENT OF
COMMERCE AND INSURANCE



ID NUMBER: 00009255
LIC STATUS: ACTIVE
EXPIRATION DATE: 10/31/2017

CONTRACTORS
CONTRACTOR
LEE COMPANY

THIS IS TO CERTIFY THAT ALL REQUIREMENTS
OF THE STATE OF TENNESSEE HAVE BEEN MET.

MANDY LINDSEY
LEE COMPANY
331 MALLORY STATION ROAD
FRANKLIN TN 37067-8257



9721866

313513

State of Tennessee

BOARD FOR LICENSING CONTRACTORS

CONTRACTOR

LEE COMPANY

*This is to certify that all requirements of the State of Tennessee
have been met.*

ID NUMBER: 00009255
LIC STATUS: ACTIVE
EXPIRATION DATE: 10/31/2017

CMC; CE; MJ; BC;

UNLIMITED



IN-1313

DEPARTMENT OF
COMMERCE AND INSURANCE

RESOLUTION 16-110

**A RESOLUTION TO AUTHORIZE A CONTRACT FOR BUCKNER PLACE
SUBDIVISION MS4 CIP #3**

WHEREAS, to better serve the citizens of Spring Hill, the City of Spring Hill appropriated funding for Stormwater projects for the fiscal year 2016-2017; and

WHEREAS, Stormwater capabilities are in need of improvement in the Buckner Place area;

WHEREAS, city staff advertised and accepted proposals for Buckner Place Subdivision MS4 CIP #3 project on July 21, 2016; and

WHEREAS, City staff and Dempsey Dilling staff has reviewed all proposals and has made a recommendation.

NOW, THEREFORE, BE IT RESOLVED, that the City of Spring Hill authorizes the a contract for Buckner Place Subdivision MS4 CIP #3 with SBW Constructors, LLC in the amount of \$584,304.00, as recommended by the Budget and Finance Advisory Committee on August 1, 2016.

Passed and adopted by the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee on this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney



July 22, 2015

File No. 0100-379

Victor Lay (via email)
City Administrator
City of Spring Hill
199 Town Center Parkway
Spring Hill, Tennessee 37174

**RE: BUCKNER PLACE SUBDIVISION MS4 CIP #3
BID REVIEW AND RECOMMENDATION**

Dear Mr. Lay:

Dempsey, Dilling & Associates, P.C. (DDA) has reviewed the bids submitted for the above-referenced project and the apparent low bidder is SBW Constructors, LLC in the amount of \$584,304.00. DDA has verified their references of previous stormwater projects. In addition, SBW Constructors has recently completed a water line project in Spring Hill on Duplex Road. Attached is a copy of the bid summary and bid tabulation.

Based on the review of the bid tabulation and project references, DDA recommends the City of Spring Hill accept the bid and award the contract to SBW Constructors, LLC in the amount of \$584,304.00.

Should you have any questions or comments, give me a call.

Sincerely,
DEMPSEY, DILLING & ASSOCIATES, P.C.
ENGINEERING CONSULTANTS

Cory D. Hall, P.E.
CDH: 50081

Enclosure

cc: Honorable Mayor Rick Graham (via email)
Jeremy Polk, Stormwater Coordinator (via email)
Jeff Foster, Public Works Director (via email)
Chris Saxe, Assistant Superintendent of Public Works (via email)
April Goad, City Recorder (via email)

SUMMARY OF BIDS
FOR
CITY OF SPRING HILL, TENNESSEE
MS4 CIP NO. 3, BUCKNER PLACE SUBDIVISION

BID OPENING: JULY 21, 2016, 2:00 P.M.

CONTRACTOR	BASE BID
Jarrett Builders Nashville, TN	No Bid
Sessions Paving Company Nashville, TN	No Bid
SBW Constructors, LLC Cottontown, TN	\$584,304.00
Curl Construction and Excavating, LLC Wartrace, TN	No Bid
Civil Constructors, Inc. Franklin, TN	\$615,180.00
Parchman Construction Company, Inc Cumberland City, TN	\$637,883.50
Adams Contracting, LLC Lexington, KY	\$613,120.0

**CITY OF SPRING HILL, WILLIAMSON COUNTY, TENNESSEE
BUCKNER PLACE SUBDIVISION MS4 CIP #3 - BID TABULATION**

ITEM NO.	DESCRIPTION	EST. QTY	UNITS	SBW CONSTRUCTORS LLC COTTONTOWN, TN		ADAMS CONTRACTING, LLC LEXINGTON, KY		CIVIL CONSTRUCTORS, INC. FRANKLIN, TN		PARCHMAN CONSTRUCTION CUMBERLAND CITY, TN	
				UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
1.	Remove Existing Driveway Culvert										
a.	12" CMP	61	L.F.	\$ 30.00	\$ 1,830.00	\$ 30.00	\$ 1,830.00	\$ 12.00	\$ 732.00	\$ 22.50	\$ 1,372.50
b.	15" CMP	348	L.F.	\$ 10.00	\$ 3,480.00	\$ 35.00	\$ 12,180.00	\$ 12.00	\$ 4,176.00	\$ 22.50	\$ 7,830.00
c.	18" CMP	175	L.F.	\$ 10.00	\$ 1,750.00	\$ 40.00	\$ 7,000.00	\$ 12.00	\$ 2,100.00	\$ 22.50	\$ 3,937.50
d.	24" CMP	135	L.F.	\$ 13.00	\$ 1,755.00	\$ 45.00	\$ 6,075.00	\$ 14.00	\$ 1,890.00	\$ 22.50	\$ 3,037.50
2.	Remove Existing Roadway Culvert										
a.	18" CMP	140	L.F.	\$ 13.00	\$ 1,820.00	\$ 40.00	\$ 5,600.00	\$ 12.00	\$ 1,680.00	\$ 45.00	\$ 6,300.00
b.	30" CMP	260	L.F.	\$ 14.00	\$ 3,640.00	\$ 50.00	\$ 13,000.00	\$ 20.00	\$ 5,200.00	\$ 45.00	\$ 11,700.00
3.	Remove Existing Concrete Headwall										
a.	24" Winged	1	Each	\$ 900.00	\$ 900.00	\$ 850.00	\$ 850.00	\$ 141.00	\$ 141.00	\$ 550.00	\$ 550.00
b.	18" Straight	4	Each	\$ 450.00	\$ 1,800.00	\$ 850.00	\$ 3,400.00	\$ 110.00	\$ 440.00	\$ 550.00	\$ 2,200.00
4.	Culverts (outside roadway)										
a.	18" RCP	426	L.F.	\$ 75.00	\$ 31,950.00	\$ 75.00	\$ 31,950.00	\$ 60.00	\$ 25,560.00	\$ 45.00	\$ 19,170.00
b.	24" RCP	58	L.F.	\$ 69.00	\$ 4,002.00	\$ 90.00	\$ 5,220.00	\$ 86.00	\$ 4,988.00	\$ 58.00	\$ 3,364.00
c.	23" x 14" Elliptical RCP	116	L.F.	\$ 104.00	\$ 12,064.00	\$ 90.00	\$ 10,440.00	\$ 81.00	\$ 9,396.00	\$ 66.00	\$ 7,656.00
d.	30" x 19" Elliptical RCP	88	L.F.	\$ 95.00	\$ 8,360.00	\$ 100.00	\$ 8,800.00	\$ 130.00	\$ 11,440.00	\$ 87.00	\$ 7,656.00
e.	38" x 24" Elliptical RCP	108	L.F.	\$ 120.00	\$ 12,960.00	\$ 125.00	\$ 13,500.00	\$ 160.00	\$ 17,280.00	\$ 100.00	\$ 10,800.00
5.	Roadway Culverts (crossing roadway)										
a.	18" RCP	144	L.F.	\$ 72.00	\$ 10,368.00	\$ 75.00	\$ 10,800.00	\$ 88.00	\$ 12,672.00	\$ 81.00	\$ 11,664.00
b.	30" RCP	80	L.F.	\$ 110.00	\$ 8,800.00	\$ 100.00	\$ 8,000.00	\$ 160.00	\$ 12,800.00	\$ 125.00	\$ 10,000.00
c.	36" RCP	36	L.F.	\$ 200.00	\$ 7,200.00	\$ 125.00	\$ 4,500.00	\$ 200.00	\$ 7,200.00	\$ 141.00	\$ 5,076.00
6.	Concrete Winged Headwalls										
a.	18" RCP	22	Each	\$ 900.00	\$ 19,800.00	\$ 900.00	\$ 19,800.00	\$ 1,575.00	\$ 34,650.00	\$ 725.00	\$ 15,950.00
b.	24" RCP	4	Each	\$ 900.00	\$ 3,600.00	\$ 1,500.00	\$ 6,000.00	\$ 1,795.00	\$ 7,180.00	\$ 875.00	\$ 3,500.00
c.	30" RCP	2	Each	\$ 1,700.00	\$ 3,400.00	\$ 2,000.00	\$ 4,000.00	\$ 1,725.00	\$ 3,450.00	\$ 1,500.00	\$ 3,000.00
d.	23" x 14" Elliptical RCP	5	Each	\$ 1,400.00	\$ 7,000.00	\$ 1,500.00	\$ 7,500.00	\$ 1,975.00	\$ 9,875.00	\$ 1,000.00	\$ 5,000.00
e.	30" x 19" Elliptical RCP	5	Each	\$ 1,400.00	\$ 7,000.00	\$ 2,000.00	\$ 10,000.00	\$ 2,360.00	\$ 11,800.00	\$ 1,150.00	\$ 5,750.00
f.	38" x 24" Elliptical RCP	8	Each	\$ 1,850.00	\$ 14,800.00	\$ 3,000.00	\$ 24,000.00	\$ 2,830.00	\$ 22,640.00	\$ 1,800.00	\$ 14,400.00
7.	Exposed Aggregate Concrete Headwall										
a.	18" RCP	8	Each	\$ 3,200.00	\$ 25,600.00	\$ 1,800.00	\$ 14,400.00	\$ 2,195.00	\$ 17,560.00	\$ 825.00	\$ 6,600.00
b.	Dual 18" RCP	2	Each	\$ 4,000.00	\$ 8,000.00	\$ 3,600.00	\$ 7,200.00	\$ 3,120.00	\$ 6,240.00	\$ 825.00	\$ 1,650.00
c.	24" RCP	2	Each	\$ 3,300.00	\$ 6,600.00	\$ 3,000.00	\$ 6,000.00	\$ 2,425.00	\$ 4,850.00	\$ 875.00	\$ 1,750.00
d.	23" x 14" Elliptical RCP	1	Each	\$ 3,400.00	\$ 3,400.00	\$ 2,500.00	\$ 2,500.00	\$ 2,530.00	\$ 2,530.00	\$ 825.00	\$ 825.00
e.	30" x 19" Elliptical RCP	1	Each	\$ 3,925.00	\$ 3,925.00	\$ 3,000.00	\$ 3,000.00	\$ 2,960.00	\$ 2,960.00	\$ 850.00	\$ 850.00
f.	38" x 24" Elliptical RCP	2	Each	\$ 4,450.00	\$ 8,900.00	\$ 4,000.00	\$ 8,000.00	\$ 3,465.00	\$ 6,930.00	\$ 875.00	\$ 1,750.00
8.	Concrete Straight Headwall										
a.	18" RCP	2	Each	\$ 1,475.00	\$ 2,950.00	\$ 1,250.00	\$ 2,500.00	\$ 1,520.00	\$ 3,040.00	\$ 750.00	\$ 1,500.00
b.	36" RCP	1	Each	\$ 3,450.00	\$ 3,450.00	\$ 3,000.00	\$ 3,000.00	\$ 2,540.00	\$ 2,540.00	\$ 1,000.00	\$ 1,000.00
9.	Catch Basin (TDOT Type 42)	1	Each	\$ 5,100.00	\$ 5,100.00	\$ 4,000.00	\$ 4,000.00	\$ 4,300.00	\$ 4,300.00	\$ 4,700.00	\$ 4,700.00

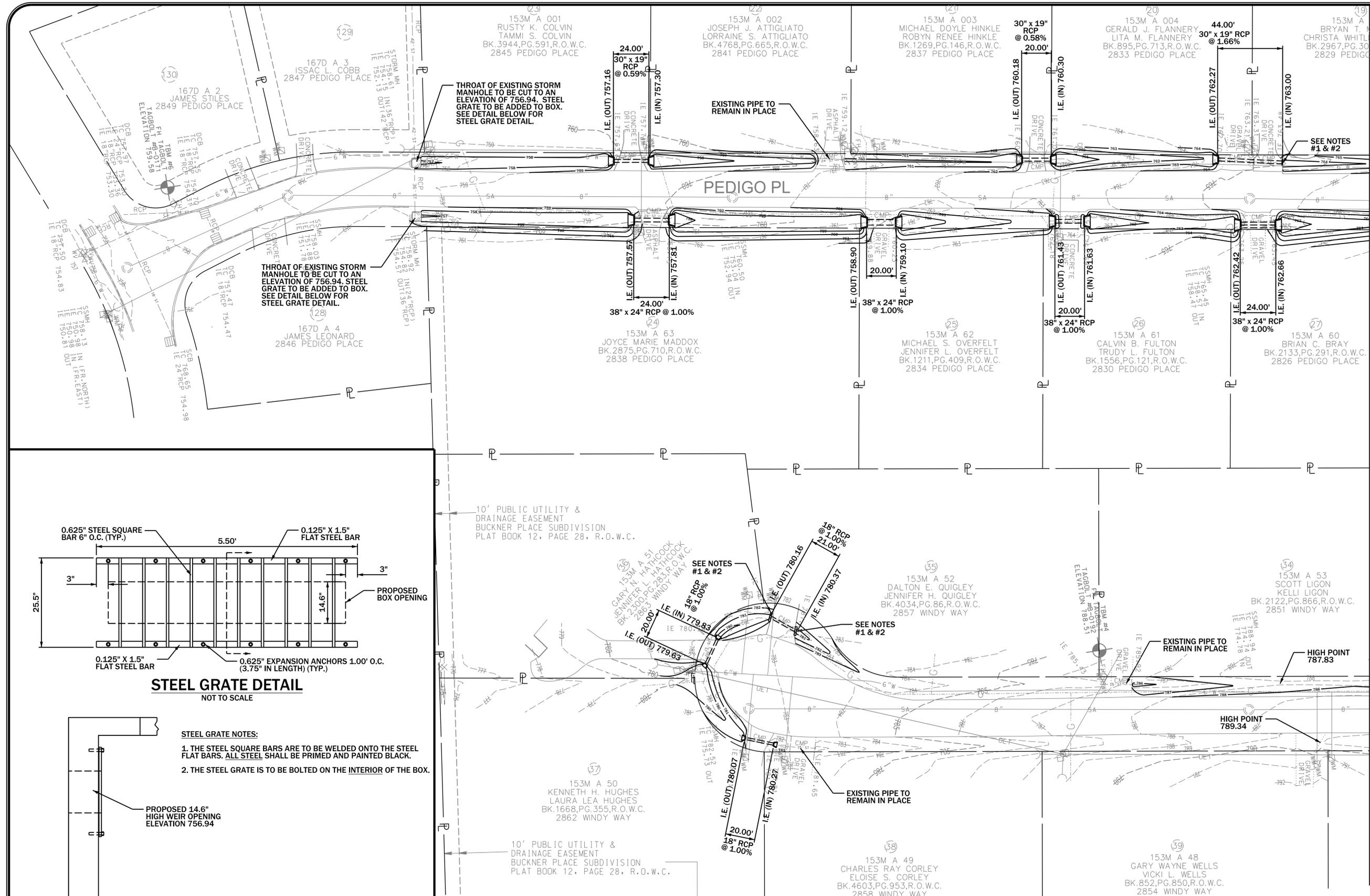
ITEM NO.	DESCRIPTION	EST. QTY	UNITS
10.	Steel Grates on Inside of Existing Structures	2	Each
11.	RCP to CMP Connection		
a.	24"	1	Each
12.	Pipe Connection to Existing Storm Structure	1	Each
13.	Regrade Ditch	7200	L.F.
14.	Driveway Repair		
a.	Gravel Driveway	1500	S.F.
b.	Concrete Driveway	1200	S.F.
c.	Exposed Aggregate Concrete Driveway	3100	S.F.
d.	Asphalt Driveway	900	S.F.
15.	Aphalt Roadway Repair	200	L.F.
16.	Erosion Control	1	LS
17.	Scour/Slope Failure Repairs		
a.	Scour Area #1	1	LS
b.	Scour Area #2	1	LS
c.	Scour Area #3	1	LS
d.	Scour Area #4	1	LS
e.	Eroded Slope	1	LS
f.	Grouted Riprap Channel	300	L.F.
18.	Erosion Control Blanket		
a.	Type I	11000	S.Y.
b.	Type II	1100	S.Y.
19.	Riprap at 2 Existing Storm Structures	1	LS
20.	Utility Service Relocation		
a.	Water Service Line	10	Each
b.	Water Meter	10	Each
c.	Sewer Service Line	10	Each
d.	Gas Service Line	10	Each
e.	Concrete Encasement	25	C.Y.
21.	Layout and Easement Staking	1	LS
TOTAL BID			

SBW CONSTRUCTORS LLC COTTONTOWN, TN	
UNIT PRICE	AMOUNT
\$ 3,700.00	\$ 7,400.00
\$ 750.00	\$ 750.00
\$ 1,500.00	\$ 1,500.00
\$ 5.00	\$ 36,000.00
\$ 1.00	\$ 1,500.00
\$ 7.50	\$ 9,000.00
\$ 9.00	\$ 27,900.00
\$ 7.50	\$ 6,750.00
\$ 110.00	\$ 22,000.00
\$ 10,000.00	\$ 10,000.00
\$ 20,000.00	\$ 20,000.00
\$ 30,000.00	\$ 30,000.00
\$ 32,000.00	\$ 32,000.00
\$ 7,500.00	\$ 7,500.00
\$ 10,000.00	\$ 10,000.00
\$ 145.00	\$ 43,500.00
\$ 2.50	\$ 27,500.00
\$ 3.00	\$ 3,300.00
\$ 4,500.00	\$ 4,500.00
\$ 750.00	\$ 7,500.00
\$ 950.00	\$ 9,500.00
\$ 825.00	\$ 8,250.00
\$ 600.00	\$ 6,000.00
\$ 250.00	\$ 6,250.00
\$ 9,500.00	\$ 9,500.00
\$584,304.00	

ADAMS CONTRACTING, LLC LEXINGTON, KY	
UNIT PRICE	AMOUNT
\$ 1,500.00	\$ 3,000.00
\$ 2,500.00	\$ 2,500.00
\$ 2,500.00	\$ 2,500.00
\$ 7.00	\$ 50,400.00
\$ 3.00	\$ 4,500.00
\$ 13.00	\$ 15,600.00
\$ 16.00	\$ 49,600.00
\$ 10.00	\$ 9,000.00
\$ 45.00	\$ 9,000.00
\$ 10,000.00	\$ 10,000.00
\$ 13,000.00	\$ 13,000.00
\$ 23,000.00	\$ 23,000.00
\$ 26,000.00	\$ 26,000.00
\$ 10,000.00	\$ 10,000.00
\$ 12,000.00	\$ 12,000.00
\$ 100.00	\$ 30,000.00
\$ 1.25	\$ 13,750.00
\$ 1.00	\$ 1,100.00
\$ 5,000.00	\$ 5,000.00
\$ 1,000.00	\$ 10,000.00
\$ 750.00	\$ 7,500.00
\$ 1,000.00	\$ 10,000.00
\$ 1,000.00	\$ 10,000.00
\$ 225.00	\$ 5,625.00
\$ 15,000.00	\$ 15,000.00
\$613,120.00	

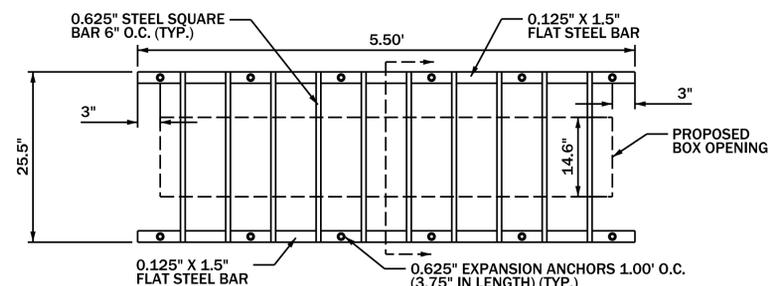
CIVIL CONSTRUCTORS, INC. FRANKLIN, TN	
UNIT PRICE	AMOUNT
\$ 1,100.00	\$ 2,200.00
\$ 220.00	\$ 220.00
\$ 2,775.00	\$ 2,775.00
\$ 18.80	\$ 135,360.00
\$ 1.25	\$ 1,875.00
\$ 8.75	\$ 10,500.00
\$ 10.25	\$ 31,775.00
\$ 5.70	\$ 5,130.00
\$ 66.00	\$ 13,200.00
\$ 36,375.00	\$ 36,375.00
\$ 7,950.00	\$ 7,950.00
\$ 10,560.00	\$ 10,560.00
\$ 13,130.00	\$ 13,130.00
\$ 2,350.00	\$ 2,350.00
\$ 3,000.00	\$ 3,000.00
\$ 70.00	\$ 21,000.00
\$ 1.50	\$ 16,500.00
\$ 2.00	\$ 2,200.00
\$ 930.00	\$ 930.00
\$ 275.00	\$ 2,750.00
\$ 200.00	\$ 2,000.00
\$ 500.00	\$ 5,000.00
\$ 250.00	\$ 2,500.00
\$ 100.00	\$ 2,500.00
\$ 25,160.00	\$ 25,160.00
\$615,180.00	

PARCHMAN CONSTRUCTION CUMBERLAND CITY, TN	
UNIT PRICE	AMOUNT
\$ 2,375.00	\$ 4,750.00
\$ 1,750.00	\$ 1,750.00
\$ 1,250.00	\$ 1,250.00
\$ 22.50	\$ 162,000.00
\$ 1.25	\$ 1,875.00
\$ 11.00	\$ 13,200.00
\$ 12.00	\$ 37,200.00
\$ 10.00	\$ 9,000.00
\$ 81.25	\$ 16,250.00
\$ 15,000.00	\$ 15,000.00
\$ 9,450.00	\$ 9,450.00
\$ 14,175.00	\$ 14,175.00
\$ 21,600.00	\$ 21,600.00
\$ 1,820.00	\$ 1,820.00
\$ 8,950.00	\$ 8,950.00
\$ 66.00	\$ 19,800.00
\$ 3.50	\$ 38,500.00
\$ 4.00	\$ 4,400.00
\$ 1,875.00	\$ 1,875.00
\$ 375.00	\$ 3,750.00
\$ 450.00	\$ 4,500.00
\$ 1,875.00	\$ 18,750.00
\$ 1,250.00	\$ 12,500.00
\$ 150.00	\$ 3,750.00
\$ 31,250.00	\$ 31,250.00
\$637,883.50	



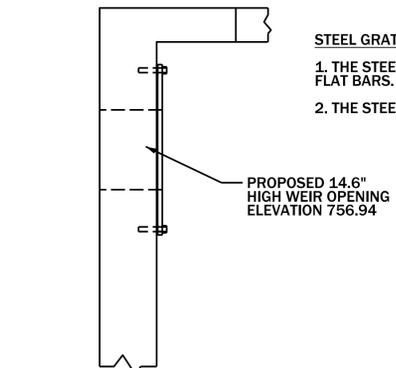
THROAT OF EXISTING STORM MANHOLE TO BE CUT TO AN ELEVATION OF 756.94. STEEL GRATE TO BE ADDED TO BOX. SEE DETAIL BELOW FOR STEEL GRATE DETAIL.

THROAT OF EXISTING STORM MANHOLE TO BE CUT TO AN ELEVATION OF 756.94. STEEL GRATE TO BE ADDED TO BOX. SEE DETAIL BELOW FOR STEEL GRATE DETAIL.



STEEL GRATE DETAIL
NOT TO SCALE

- STEEL GRATE NOTES:**
1. THE STEEL SQUARE BARS ARE TO BE WELDED ONTO THE STEEL FLAT BARS. ALL STEEL SHALL BE PRIMED AND PAINTED BLACK.
 2. THE STEEL GRATE IS TO BE BOLTED ON THE INTERIOR OF THE BOX.



CROSS SECTION VIEW
NOT TO SCALE

NOTES:

1. THE EXISTING EXPOSED AGGREGATE HEADWALLS WHICH ARE POURED MONOLITHICALLY WITH THE DRIVEWAY SHALL BE REINSTALLED AS SUCH. THE HEADWALL SHALL EXTEND AS A CURB 6-INCHES ABOVE THE DRIVEWAY AND 12-INCHES ON EACH SIDE OF THE CULVERT. THE HEADWALL SHALL BE POURED SO THAT IT EXTENDS AT LEAST 6-INCHES BELOW THE FLOW LINE OF THE PIPE.
2. DRIVEWAYS WITHOUT A WINGED HEADWALL SHALL BE POURED VERTICALLY DOWN EACH SIDE TO A DEPTH OF AT LEAST 6 INCHES BELOW FINISHED GRADE. THE VERTICAL SIDEWALLS SHALL BE 6-INCHES THICK.
3. ALL OTHER HEADWALLS SHALL BE WINGED HEADWALLS EITHER POURED IN PLACE OR PRECAST. IF PRECAST, THE HEADWALLS SHALL BE THE MINIMUM SIZES NECESSARY TO FIT THE DRAINAGE PIPE (I.E. THEY SHALL NOT BE EXCESSIVELY TALL OR WIDE). THE HEADWALLS SHALL NOT EXTEND ABOVE THE DRIVEWAY SURFACE MORE THAN 6-INCHES. THE HEADWALLS SHALL BE CUSTOM MADE TO FIT THE ELLIPTICAL PIPES.

MATCH LINE SEE SHEET 06

DEMPSEY, DILLING & ASSOCIATES, P.C.
Engineering Consultants
502 Hazelwood Drive
Smyrna, Tennessee 37167
ph. (615) 220-5800 fax (615) 220-5888



DATE:	JUNE, 2016
DRAWN BY:	SHAMANUR
CHECKED BY:	HALL
APPROVED BY:	HALL

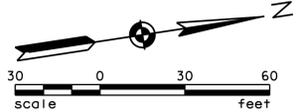
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PROPOSED LAYOUT SHEET 1
MS4 CAPITAL IMPROVEMENT PROJECT #3
BUCKNER PLACE SUBDIVISION
CITY OF SPRING HILL
WILLIAMSON COUNTY, TENNESSEE

REV	DESCRIPTION	DATE

SHEET NO.
5

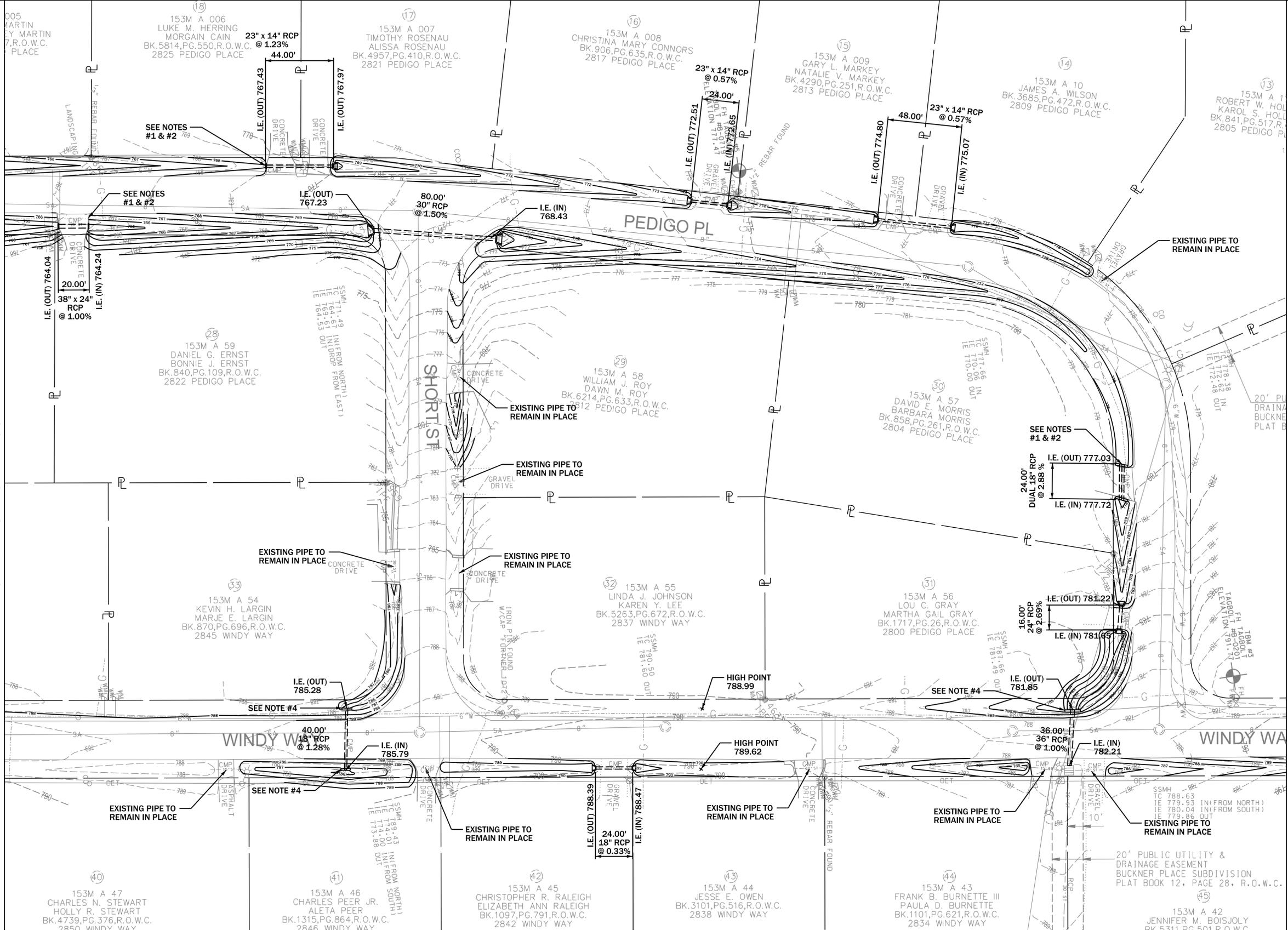
JOB NO.: 0100-379



DATE PLOTTED

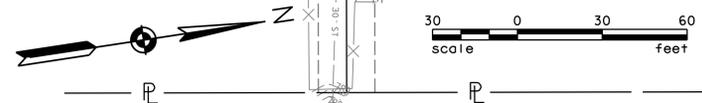
MATCH LINE SEE SHEET 05

MATCH LINE SEE SHEET 07



NOTES:

1. THE EXISTING EXPOSED AGGREGATE HEADWALLS WHICH ARE POURED MONOLITHICALLY WITH THE DRIVEWAY SHALL BE REINSTALLED AS SUCH. THE HEADWALL SHALL EXTEND AS A CURB 6-INCHES ABOVE THE DRIVEWAY AND 12-INCHES ON EACH SIDE OF THE CULVERT. THE HEADWALL SHALL BE POURED SO THAT IT EXTENDS AT LEAST 6-INCHES BELOW THE FLOW LINE OF THE PIPE.
2. DRIVEWAYS WITHOUT A WINGED HEADWALL SHALL BE POURED VERTICALLY DOWN EACH SIDE TO A DEPTH OF AT LEAST 6 INCHES BELOW FINISHED GRADE. THE VERTICAL SIDEWALLS SHALL BE 6-INCHES THICK.
3. ALL OTHER HEADWALLS SHALL BE WINGED HEADWALLS EITHER POURED IN PLACE OR PRECAST. IF PRECAST, THE HEADWALLS SHALL BE THE MINIMUM SIZES NECESSARY TO FIT THE DRAINAGE PIPE (I.E. THEY SHALL NOT BE EXCESSIVELY TALL OR WIDE). THE HEADWALLS SHALL NOT EXTEND ABOVE THE DRIVEWAY SURFACE MORE THAN 6-INCHES. THE HEADWALLS SHALL BE CUSTOM MADE TO FIT THE ELLIPTICAL PIPES.
4. ROADWAY CULVERT HEADWALL SHALL BE A STRAIGHT HEADWALL. REFER TO THE STANDARD DETAIL SHEET.



DATE: 6/15/2016

DEMPSEY, DILLING & ASSOCIATES, P.C.
 Engineering Consultants
 502 Hazelwood Drive
 Smyrna, Tennessee 37167
 ph. (615) 220-5800 fax (615) 220-5888
 www.dempseydilling.com



DATE: JUNE, 2016
 DRAWN BY: SHAMANUR
 CHECKED BY: HALL
 APPROVED BY: HALL

PROPOSED LAYOUT SHEET 2
MS4 CAPITAL IMPROVEMENT PROJECT #3
BUCKNER PLACE SUBDIVISION
CITY OF SPRING HILL
WILLIAMSON COUNTY, TENNESSEE

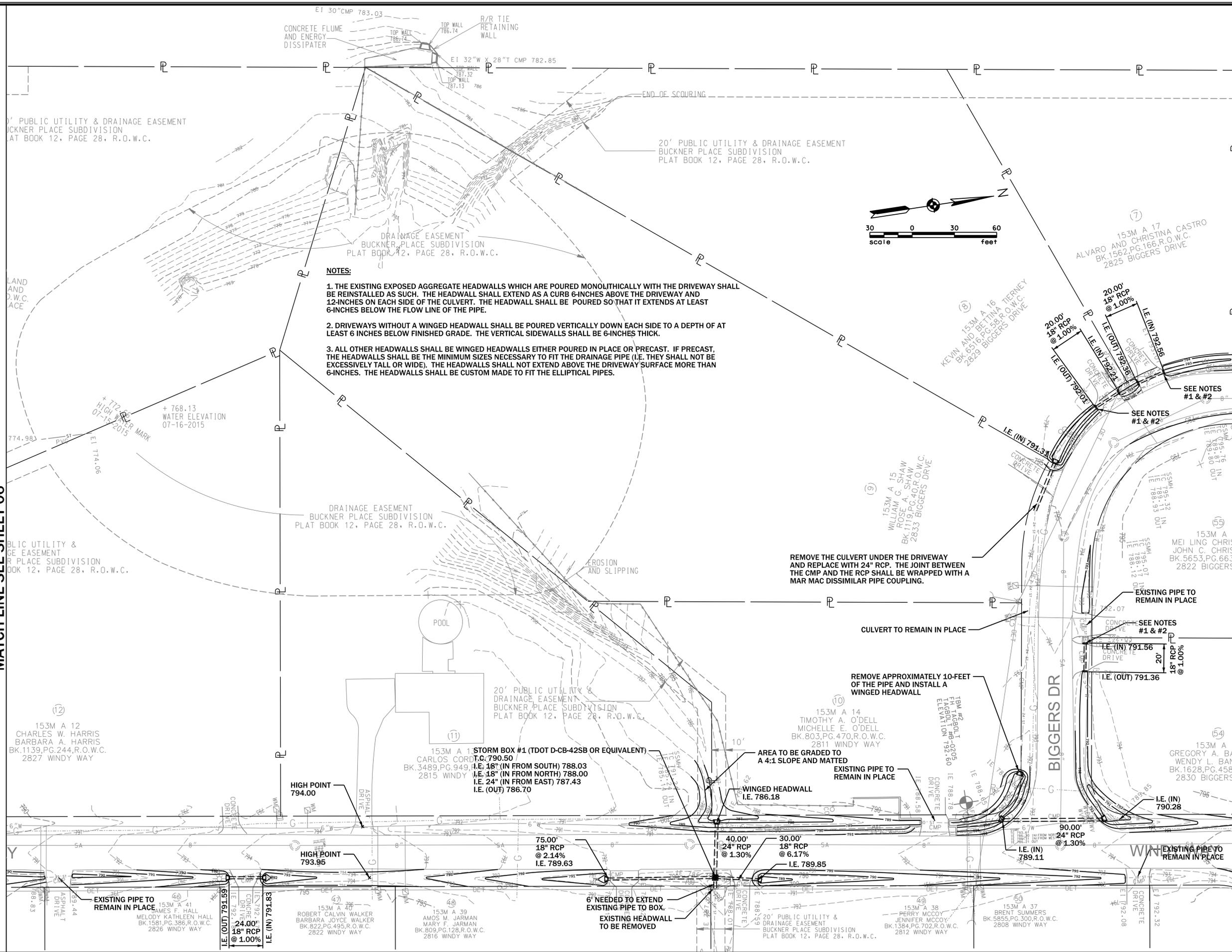
REV	DESCRIPTION	DATE

SHEET NO. **6**

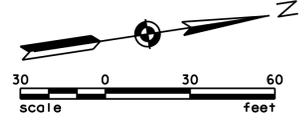
JOB NO.: 0100-379

DATE: 07-16-2015
TIME: 10:00 AM

MATCH LINE SEE SHEET 06



- NOTES:**
1. THE EXISTING EXPOSED AGGREGATE HEADWALLS WHICH ARE POURED MONOLITHICALLY WITH THE DRIVEWAY SHALL BE REINSTALLED AS SUCH. THE HEADWALL SHALL EXTEND AS A CURB 6-INCHES ABOVE THE DRIVEWAY AND 12-INCHES ON EACH SIDE OF THE CULVERT. THE HEADWALL SHALL BE POURED SO THAT IT EXTENDS AT LEAST 6-INCHES BELOW THE FLOW LINE OF THE PIPE.
 2. DRIVEWAYS WITHOUT A WINGED HEADWALL SHALL BE POURED VERTICALLY DOWN EACH SIDE TO A DEPTH OF AT LEAST 6 INCHES BELOW FINISHED GRADE. THE VERTICAL SIDEWALLS SHALL BE 6-INCHES THICK.
 3. ALL OTHER HEADWALLS SHALL BE WINGED HEADWALLS EITHER POURED IN PLACE OR PRECAST. IF PRECAST, THE HEADWALLS SHALL BE THE MINIMUM SIZES NECESSARY TO FIT THE DRAINAGE PIPE (I.E. THEY SHALL NOT BE EXCESSIVELY TALL OR WIDE). THE HEADWALLS SHALL NOT EXTEND ABOVE THE DRIVEWAY SURFACE MORE THAN 6-INCHES. THE HEADWALLS SHALL BE CUSTOM MADE TO FIT THE ELLIPTICAL PIPES.



MATCH LINE SEE SHEET 08

DEMPSEY, DILLING & ASSOCIATES, P.C.
 Engineering Consultants
 502 Hazelwood Drive
 Smyrna, Tennessee 37167
 ph. (615) 220-5800 fax (615) 220-5888
 www.dempseydilling.com

DATE: JUNE 2016
 DRAWN BY: SHAMANUR
 CHECKED BY: HALL
 APPROVED BY: HALL

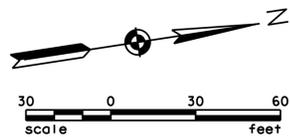
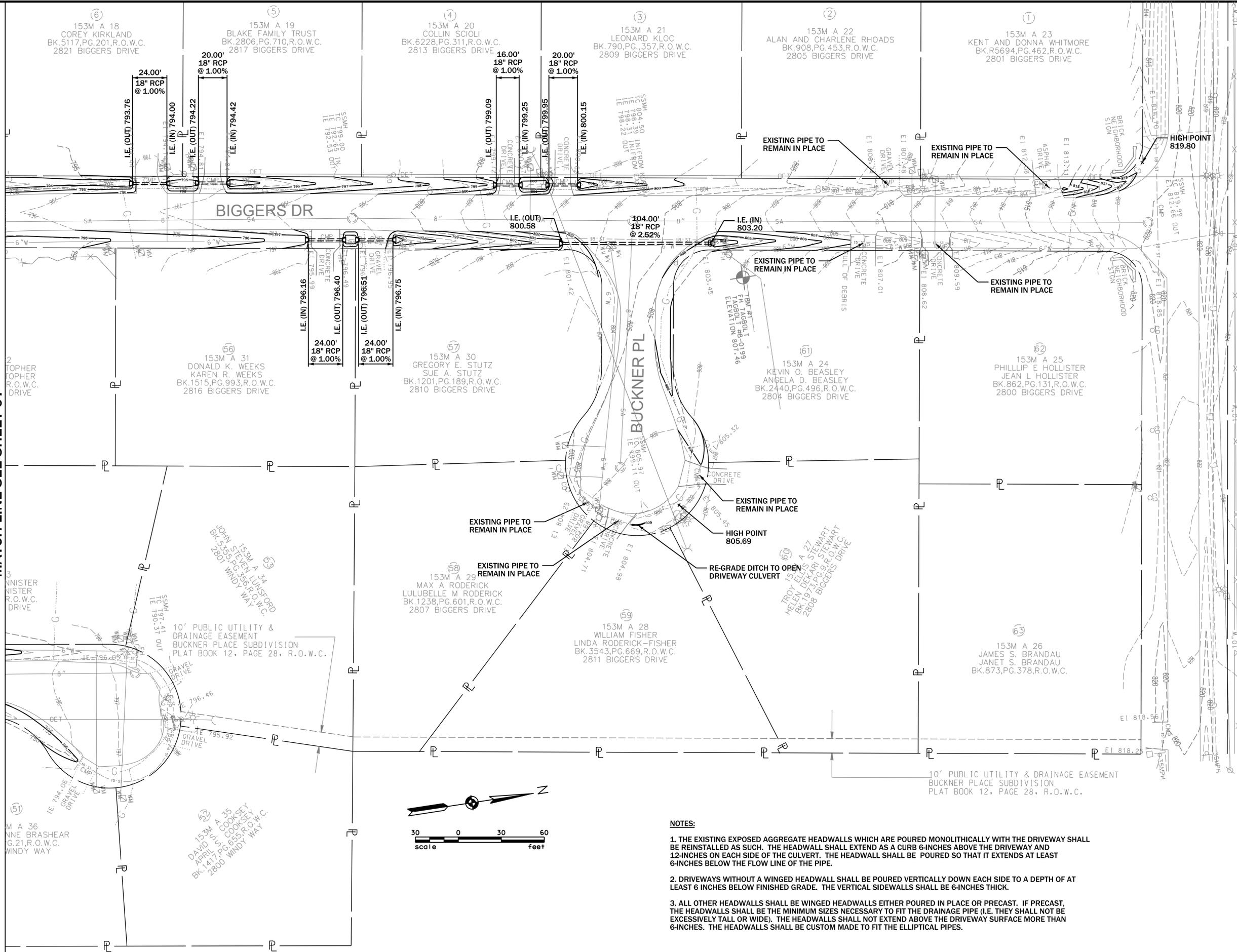
PROPOSED LAYOUT SHEET 3
MS4 CAPITAL IMPROVEMENT PROJECT #3
BUCKNER PLACE SUBDIVISION
 CITY OF SPRING HILL
 WILLIAMSON COUNTY, TENNESSEE

REV	DESCRIPTION	DATE

SHEET NO. **7**

JOB NO.: 0100-379

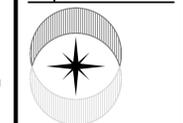
MATCH LINE SEE SHEET 07



NOTES:

1. THE EXISTING EXPOSED AGGREGATE HEADWALLS WHICH ARE POURED MONOLITHICALLY WITH THE DRIVEWAY SHALL BE REINSTALLED AS SUCH. THE HEADWALL SHALL EXTEND AS A CURB 6-INCHES ABOVE THE DRIVEWAY AND 12-INCHES ON EACH SIDE OF THE CULVERT. THE HEADWALL SHALL BE POURED SO THAT IT EXTENDS AT LEAST 6-INCHES BELOW THE FLOW LINE OF THE PIPE.
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3. ALL OTHER HEADWALLS SHALL BE WINGED HEADWALLS EITHER POURED IN PLACE OR PRECAST. IF PRECAST, THE HEADWALLS SHALL BE THE MINIMUM SIZES NECESSARY TO FIT THE DRAINAGE PIPE (I.E. THEY SHALL NOT BE EXCESSIVELY TALL OR WIDE). THE HEADWALLS SHALL NOT EXTEND ABOVE THE DRIVEWAY SURFACE MORE THAN 6-INCHES. THE HEADWALLS SHALL BE CUSTOM MADE TO FIT THE ELLIPTICAL PIPES.

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 Engineering Consultants
 502 Hazelwood Drive
 Smyrna, Tennessee 37167
 ph. (615) 220-5800 fax (615) 220-5888
 www.dempseydilling.com



DATE: JUNE, 2016
 DRAWN BY: SHAMANUR
 CHECKED BY: HALL
 APPROVED BY: HALL

PROPOSED LAYOUT SHEET 4
MS4 CAPITAL IMPROVEMENT PROJECT #3
BUCKNER PLACE SUBDIVISION
CITY OF SPRING HILL
WILLIAMSON COUNTY, TENNESSEE

REV	DESCRIPTION	DATE

SHEET NO.
8

RESOLUTION 16-111

A RESOLUTION TO AUTHORIZE THE INTERIOR AND EXTERIOR COATING OF STONEGATE WATER STORAGE TANK

WHEREAS, the Stonegate water storage tank is in need of interior and exterior coating removal and replacement; and

WHEREAS, during inspections revealed the need for this project to maintain quality and health of the water system; and

WHEREAS, sealed bids were received on July 26, 2016; and

WHEREAS, the City of Spring Hill, Board of Mayor and Alderman allocated \$200,000.00 in funds for this project in the 2016-2017 fiscal year budget; and

WHEREAS, Preferred Sandblasting LLC was the lowest bid amount received using the specified paint at \$104,000.00.

NOW, THEREFORE, BE IT RESOLVED, that the City of Spring Hill Board of Mayor and Aldermen authorizes Preferred Sandblasting LLC to perform the removal and replacement of the interior and exterior coating of the Stonegate water storage tank in the amount of \$104,000.00, as recommended by the Budget Finance Advisory Committee on August 15, 2016.

Passed and adopted by the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee, on the 15th day of August 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney



REQUEST: *Approval of Resolution 16-111*

SUBMITTED BY: Victor Lay, City Administrator
Caryl A. Giles, Water Plant, Superintendent

DATE: July 28, 2016

RE: Interior & Exterior Blasting & Coating of Southside Water Storage Tank

ATTACHMENTS: Summary of Bids

PURPOSE:

Interior and exterior blasting and coating of this tank is necessary to maintain water quality and protect the tank from degradation.

BACKGROUND:

Several years have passed since the coating on the Southside tank has been addressed. Professional inspections of the water tank have revealed the need for this project to be performed. Upon completion of the Hardins Landing Tank it is possible for City staff to remove this tank from service and complete this project without interruption of service and without compromising pressure in the adjacent area of the tank.

FINANCIAL IMPACT:

The cost to remove and replace the coating; and paint the City logo has been budgeted at \$200,000.00. Bids were received on July 26, 2016. Staff recommends Preferred Sandblasting and Painting, LLC, of Shelbyville, TN. Bid amount using the specified TNEMEC paint was \$104,000.00.

STAFF RECOMMENDATION:

Staff reviewed and scored the eleven bids received. We have requested the recommended contractor to verify by email he is comfortable with the completion of the scope of work at his bid price of \$104,000.00 with a flat \$500.00 pit filling charge.

ACTION REQUIRED (INCLUDE DEADLINE /PRIORITY):

This project will require sixty (60) calendar days. Notice to proceed of construction will need to be as close to September 1st as possible, to have the project completed before winter weather. For sure this will be completed the before peak demand season of 2017.

Summary of Bids



ISSUE DATE: June 21, 2016
CONTACT: Caryl Ann Giles
PHONE NUMBER: (931) 489-5791
FAX NUMBER: (931) 489-5795
EMAIL: cgiles@springhilltn.org

SUBMIT PROPOSAL/OFFER PRIOR TO:
CLOSING DATE: July 26, 2016
CLOSING TIME: 2:00 P.M. (Local Time)

SUBMIT TO:
See Section 4.0
 FAX/EMAIL NOT ACCEPTED

DESCRIPTION:

Work involves preparing surfaces, painting interior, exterior and protecting surroundings of the City's .34 MG ground level storage tank located at 3626 Stonegate Drive, Spring Hill, TN 37174

Company:	Bid Amount:	Alternate Bid:	Pitt Filling:
American Energy Systems	\$179,000.00	No Bid	Included
Utility Service Co., Inc.	\$149,500.00	\$145,200.00	\$500.00/gallon
Classic Protective Coatings	\$230,200.00	No Bid	5.00 (epoxy)
Huffman Tank & Tower, Inc.	\$115,000.00	\$130,000.00	25.00/sqft
Southern Road & Bridge	\$202,750.00	No Bid	\$2,500.00
Superior Industrial Maintenance Co .	\$227,400.00	\$214,500.00	\$2000.00
Amec Foster Wheeler	\$138,952.00	No Bid	\$35.00/sqft
Scott I. Enterprises, Inc.	\$162,700.00	No Bid	\$300.00/gallon used
Preferred Sandblasting & Painting LLC	\$104,000.00	No Bid	\$500.00
Tank Pro, Inc.	\$147,821.00	\$133,412.00	\$200.00
Charlie Irwin Painting, LLC	\$115,000.00	\$105,000.00	\$8.00/sqin

RESOLUTION 16-112

**A RESOLUTION SUPPORTING APPROVAL OF DISBURSEMENTS
FROM WATER SUPPLY ESCROW FUND FOR DUCK RIVER AGENCY
FISCAL YEAR 2016-2017 PROGRAM BUDGET**

WHEREAS, the City of Spring Hill is a Member of Duck River Agency Technical Advisory Committee; and

WHEREAS, the Duck River Comprehensive Regional Water Supply Plan has recommended two water supply infrastructure projects for future water demands: increasing the capacity of Normandy Reservoir and constructing a new intake near Williamsport. The Duck River Agency Technical Advisory Committee has recommended that the Duck River Agency continue the planning and funding of these projects in fiscal year 2016-2017; and

WHEREAS, according to each water system’s agreement, the governing board of each system is required to approve decisions regarding of the use of cooperative funds from customer fees; and

WHEREAS, the analyses for these projects will require the Agency to disburse funds from its Water Supply Escrow Fund upon approval from a simple majority of the agency members, which includes Spring Hill Board of Mayor and Aldermen; and

NOW, THEREFORE, BE IT RESOLVED, by the Board of Mayor and Alderman of Spring Hill, Tennessee, supports and approves of disbursement from Water Supply Escrow Fund for Duck River Agency in the fiscal year 2016-2017 Program Budget, as outlined in the attached request letter, program budget, and agency annual program outline.

Passed and adopted this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

Operating Account
Administrative Budget
FY 2017

	2016 Budget	2017 Budget	Increase (Decrease)	Notes
Revenues				
Oper Receipts-Trust B	\$215,270	\$218,000	\$2,730	TBD Est. 60% nickel collections FY2016
Op - Interest and Misc.	\$0	0	\$0	
Total Revenues	<u>\$215,270</u>	<u>\$218,000</u>	<u>\$2,730</u>	
Administrative Expenses				
Director of Finance Salary	\$48,092	\$48,814	\$721	
Executive Salary	\$86,382	\$87,678	\$1,296	
Employee Retirement	\$1,500	\$1,500	\$0	Based on state actuarial recommendation
Employee Insurance	\$9,000	\$9,600	\$600	Health, disability ins. reimbursement
Agency Payroll Taxes	\$11,000	\$11,000	\$0	
Professional Services	\$10,500	\$10,500	\$0	Kraft CPA's audit contract for FY2016
Accounting Consultation	\$500	\$500	\$0	Winnett & Associates annual agreement
Legal Services	\$13,000	\$13,000	\$0	Trauger & Tuke annual agreement
Building Maintenance	\$1,000	\$1,000	\$0	
Office Utilities	\$3,000	\$2,500	-\$500	
Telephone/Internet Expense	\$4,500	\$3,500	-\$1,000	Office telephones, cell, Internet
Meeting Expenses	\$3,500	\$5,000	\$1,500	Includes Board, DRATAC, WRC
Postage Expense	\$200	\$200	\$0	
Staff Travel Expenses	\$3,000	\$5,000	\$2,000	Staff travel
Professional Development	\$4,000	\$2,000	-\$2,000	Conference, seminar fees, association dues
Office Supplies	\$1,500	\$1,500	\$0	
Software Expense	\$1,500	\$1,200	-\$300	Incl. acct./program mgmt. software
Web page/IT support	\$500	\$500	\$0	
Miscellaneous	\$500	\$500	\$0	
Insurance Expense	\$3,700	\$3,500	-\$200	
Total Administrative Expenses	<u>\$206,875</u>	<u>\$208,992</u>	<u>\$2,117</u>	
Net Income (Loss)	<u>\$8,395</u>	<u>\$9,008</u>	<u>\$613</u>	

**Tennessee Duck River Development Agency
Calculation of Agency Payroll Taxes & Insurance
FY2017 DRAFT-assumes no salary increases**

Payroll Taxes	<u>Finance Director</u>	<u>Executive Director</u>	<u>Total</u>
Salary	48,813.76	87,678.13	
Salary	48,813.76	87,678.13	136,491.89
Health insurance reimbursement-nontaxable	3,192.00	3,180.00	
Disability Insurance reimbursement	<u>1,007.42</u>	<u>2,108.73</u>	
Total employee compensation	53,013.18	92,966.86	
Total taxable employee compensation	49,821.18	89,786.86	
Payroll taxes	<u>0.0765</u>	<u>0.0765</u>	
Employer's Share of Payroll Taxes	<u>3,811.32</u>	<u>6,868.69</u>	10,680.02
State Unemployment Taxes (SUTA)			
Total Wages susceptible to tax	8,000.00	8,000.00	
State Unemployment Rate	<u>0.004</u>	<u>0.004</u>	
State Unemployment Tax	<u>32.00</u>	<u>32.00</u>	64.00
Total Payroll Taxes			<u>10,744.02</u>
Amount to Budget for Agency Taxes			11,000.00
Retirement Expense			
Total Wages	48,813.76	87,678.13	
Employer Contribution Percentage	<u>0.0103</u>	<u>0.0103</u>	
Employer Contribution	<u>502.78</u>	<u>903.08</u>	<u>1,405.87</u>
Amount to Budget for Retirement Exp.			1,500.00
Health Insurance Premium Reimb.			
Health Insurance Premiums	3,192.00	3,180.00	6,372.00
Disability Insurance Premium Reimb.	\$ 1,007.42	\$ 2,108.73	<u>3,116.15</u>
Total Insurance Cost			<u>9,488.15</u>
Amount to Budget for EE Ins. Cost			9,600.00
Total Salaries & Benefits Budget			<u>158,591.89</u>

Notes:

1. SUTA is paid on the first \$8,000 of earnings per employee per year (calculated quarterly).

**Tennessee Duck River Development Agency
Program Budget & Funding Source
For Fiscal Year 2017**

**FY2017
New
Budget**

Trust Fund B

Annual Programs and Contracts

a. USGS Streamgages (2 new gages)	56,400
b. Regional Duck River Cleanup	3,000

Water Supply Plan Implementation Projects

a. Regional Drought Management Plan - OBG	9,240
b. Optimizing Normandy Reservoir Releases - OBG	11,310
c. Water Management Program - OBG	7,200
d. Water Demand Projections - MWM	0

Program Support

a. Program Management - OBG	34,600
b. Modeling/consulting - HydroLogics Inc	25,000
c. Pathogen Compliance Analysis - DRUC	6,000
d. Environmental & Regulatory Permitting - BDY	30,000

Project Funding for FY2017 182,750

Administrative Budget for FY2017 208,992

Total Trust Fund B Expenses \$ 391,742

Water Supply Escrow Fund

a. Normandy Reservoir Capacity Improvements - OBG	0
b. New Maury County Water Supply Intake - OBG	12,150

Total WSEF Expenses for FY2017 \$ 12,150

Resolution: 2016-04-28.1

A RESOLUTION APPROVING DISBURSEMENTS FROM THE WATER SUPPLY ESCROW TRUST PER THE DUCK RIVER AGENCY (DRA) FY2017 PROGRAM AND PROJECTS BUDGET

WHEREAS, the DRA Board met on April 28, 2016 to review and discuss the FY2017 Program and Projects Budget; and

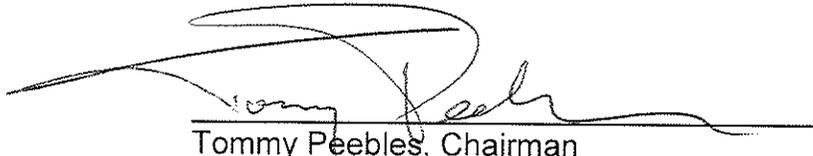
WHEREAS, the Project Budget to be Funded by the Water Supply Escrow Trust is \$12,150;

WHEREAS, the Project Budget will fund activities for a Maury County Water Supply Intake;

NOW, THEREFORE, BE IT RESOLVED:

That Funds may be Disbursed by the Escrow Agent from Water Supply Escrow Trust per the FY2017 Program and Projects Budget attached hereto as Exhibit 1.

ADOPTED AND APPROVED BY THE DUCK RIVER AGENCY BOARD OF DIRECTORS, THIS 28th DAY OF APRIL 2016.


Tommy Peebles, Chairman


Joanne Pogue, Secretary
Estlick Daniel, vice-chairman

RESOLUTION 16-113

A RESOLUTION AUTHORIZING ACCEPTANCE OF OFFER OF DEDICATION OF ROAD RIGHTS-OF-WAY AND PUBLIC IMPROVEMENTS SHOWN ON THE EXISTING PLAT FOR AUTUMN RIDGE PHASE 3 SECTION 3

WHEREAS, Developer Don R. Cameron III. has a recorded Final Plat for Autumn Ridge Phase 3 Section 3 in Williamson County Plat Book P57, Page 141 and

WHEREAS, said Plat show public rights-of-way proposed for dedication to the City of Spring Hill; and

WHEREAS, an Offer of Dedication, Deeds of Conveyance and a Maintenance Surety have been submitted pursuant to the Subdivision Regulations; and

WHEREAS, a Certificate of Satisfactory Completion has been furnished by the City of Spring Hill indicating that through inspections of the road rights-of-way, the design intent has been achieved; and

WHEREAS, the developer is required under Section VI, Section 6.3 of the Subdivision Regulations to submit an “as-built” survey of the public improvements including water, sewer and drainage; and

WHEREAS, on July 11, 2016, the City of Spring Hill Planning Commission recommended the Road Rights-of-Way and Public Improvements for Autumn Ridge Phase 3 Section 3 be accepted; and

WHEREAS, the Board of Mayor and Aldermen deems it in the best interest of the City of Spring Hill that the Offer of Dedication of the Road Rights-of-Way be accepted and the same become a part of the public street system of the City of Spring Hill; and

NOW, THEREFORE BE IT RESOLVED, by the City of Spring Hill Board of Mayor and Aldermen that dedication and acceptance of Road Rights-of Way within Autumn Ridge Phase 3 Section 3 as shown on the recorded plat is hereby approved.

Passed and adopted this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

SUBJECT: Acceptance of Road ROW & Public Improvements for Autumn Ridge Phase 3 Section 3

DATE: July 27, 2016

ATTENTION: Board of Mayor and Aldermen

STAFF: Missy Stahl, Project Manager



STAFF MEMORANDUM

The purpose of this memo is to provide information regarding a resolution to accept and the dedication of road rights-of-way and public improvements for Autumn Ridge Phase 3 Section 3, as recommended by the Planning Commission.

Background:

The Planning Commission recommends accepting the road rights-of-way and public improvements for Autumn Ridge Phase 3 Section 3, per PC Resolution 16-63 passed by the Planning Commission on July 11, 2016. The one year for the maintenance bond has been fulfilled and City staff has issued certificates of satisfaction for this phase .

Staff Recommendation:

Staff recommends approval of the request.

**FORM FOR OFFER OF
IRREVOCABLE DEDICATION**

AGREEMENT made this 14 day of JUNE 2016, by and between the City of Spring Hill a municipal corporation, having its office and place of business at 199 Town Center Parkway, Spring Hill, Tennessee, hereinafter designated as the "City" and Autumn Ridge PH 3 Sec 3, a Sole Proprietor, having its office and place of business at 1503 Columbia Ave Franklin TN, hereinafter designated as the "developer".

WHEREAS, the Spring Hill Planning Commission is in the process of approving a subdivision plat entitled Autumn Ridge PH 3 Sec 3 dated 7/10/2013 and prepared by Anderson Delk Epps and

WHEREAS, said plat designates certain public improvements consisting of Roads, Right of Way, water lines, sewer lines, storm drain and sidewalks to be dedicated to the City of Spring Hill free and clear of all encumbrances and liens, pursuant to the requirements of the Spring Hill Planning Commission and the City; and

WHEREAS, the Developer, simultaneously herewith, shall post a performance surety with the City for the construction, maintenance, and dedication of said improvements, if required;

WHEREAS, the Developer is desirous of offering for dedication the said improvements and land to the City more particularly described in Schedule _____ attached hereto;

WHEREAS, the Developer has delivered Documents or Deeds of conveyance to the city for the said land and improvements as described herein;

NOW, THEREFORE, in consideration of the sum of one dollar (\$1.00) lawful money of the United States paid by the City to the Developer and other good and valuable consideration, it is mutually **AGREED** as follows:

- A. The Developer herewith delivers to the City Documents or Deeds of conveyance for the premises described in Schedule _____ attached hereto, said delivery being a formal offer of dedication to the City until the acceptance or rejection of such offer of dedication by the City.
- B. The Developer agrees that said formal offer of Dedication is irrevocable and can be accepted by the City at any time.
- C. The Developer agrees to complete the construction and maintenance of the land and improvements pursuant to the performance surety and the requirements of the Spring Hill Planning Commission and any ordinances, regulations, requirements, covenants, and agreements that may be imposed by the City with respect thereto and, upon acceptance by the City of the offer of dedication, furnish to the City a sworn statement certifying that the premises are free and clear of all liens and encumbrances and shall furnish to the City a check for all necessary fees and taxes to record the Documents heretofore delivered.

- D. That this irrevocable offer of dedication shall run with land and shall be binding on all assigns, guarantees, successors, or heirs of the Developer.
- E. The City by action of the Board of Mayor and Aldermen on the ____ day of _____, 20____, accepted the infrastructure as presented in the offer of dedication and directed the governmental representative to sign the offer of dedication on behalf of the City

Developer Company Name:

Autumn Ridge Dev.

JUNE 14 _____ 2016
Date

W. R. Connor, III
Developer Signature

(CORPORATE SEAL)

ATTEST: _____

FOR THE CITY OF SPRING HILL:

BY: _____
Signature

_____ 20 _____

Printed Name

ACKNOWLEDGEMENT:
COPARTNERSHIP

STATE OF TENNESSEE

(COUNTY OF _____) SS: _____

On this ___ day _____ of 20___, before me personally appeared _____, to me known to be one of the firm _____, described in and who executed the foregoing instrument, and he thereupon acknowledged to me that he executed such instrument as and for the act and deed of said firm.

CORPORATE

STATE OF TENNESSEE

(COUNTY OF Williamson) SS: _____

On this 14 day of JUNE 2016, before me personally appeared Don R. Cameron, III, to me known, who, being by me first duly sworn, did depose and say that he resides in Williamson Co; that he is the owner of Autumn Ridge Dev the corporate seal affixed to said instrument is such corporate seal; that it was so affixed by order and authority of the Board of Directors of said corporation, and that he signed his name thereto by like order and authority.

h. j. hay
INDIVIDUAL



RESOLUTION 16-114

A RESOLUTION AUTHORIZING ACCEPTANCE OF OFFER OF DEDICATION OF ROAD RIGHTS-OF-WAY AND PUBLIC IMPROVEMENTS SHOWN ON THE EXISTING PLAT FOR GOLF VIEW PHASE 6

WHEREAS, Developer Welling Corporation has a recorded Final Plat for Golf View Phase 6 in Maury County Plat Book P18, Page 17 and

WHEREAS, said Plat show public rights-of-way proposed for dedication to the City of Spring Hill; and

WHEREAS, an Offer of Dedication, Deeds of Conveyance and a Maintenance Surety have been submitted pursuant to the Subdivision Regulations; and

WHEREAS, a Certificate of Satisfactory Completion has been furnished by the City of Spring Hill indicating that through inspections of the road rights-of-way, the design intent has been achieved; and

WHEREAS, the developer is required under Section VI, Section 6.3 of the Subdivision Regulations to submit an “as-built” survey of the public improvements including water, sewer and drainage; and

WHEREAS, on July 11, 2016, the City of Spring Hill Planning Commission recommended the Road Rights-of-Way and Public Improvements for Golf View Phase 6 be accepted; and

WHEREAS, the Board of Mayor and Aldermen deems it in the best interest of the City of Spring Hill that the Offer of Dedication of the Road Rights-of-Way be accepted and the same become a part of the public street system of the City of Spring Hill; and

NOW, THEREFORE BE IT RESOLVED, by the City of Spring Hill Board of Mayor and Aldermen that dedication and acceptance of Road Rights-of Way within Golf View Phase 6 as shown on the recorded plat is hereby approved.

Passed and adopted this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

SUBJECT: Acceptance of Road ROW & Public Improvements for Golfview Phase 6

DATE: July 27, 2016

ATTENTION: Board of Mayor and Aldermen

STAFF: Missy Stahl, Project Manager



STAFF MEMORANDUM

The purpose of this memo is to provide information regarding a resolution to accept and the dedication of road rights-of-way and public improvements for Golfview Phase 6, as recommended by the Planning Commission.

Background:

The Planning Commission recommends accepting the road rights-of-way and public improvements for Golfview Phase 6, per PC Resolution 16-65 passed by the Planning Commission on July 11, 2016. The one year for the maintenance bond has been fulfilled and City staff has issued certificates of satisfaction for this phase .

Staff Recommendation:

Staff recommends approval of the request.

FORM FOR OFFER OF
IRREVOCABLE DEDICATION

AGREEMENT made this 15 day of JUNE 2016, by and between the City of Spring Hill a municipal corporation, having its office and place of business at 199 Town Center Parkway, Spring Hill, Tennessee, hereinafter designated as the "City" and Nelling Corporation a CORPORATION having its office and place of business at 1650 Murfreesboro Rd Ste 200 hereinafter designated as the "developer".
Franklin TN 37061

WHEREAS, the Spring Hill Planning Commission is in the process of approving a subdivision plat entitled Golfnew Ph. 1 dated 02/14/2008 and prepared by Stanford Assoc Inc and

WHEREAS, said plat designates certain public improvements consisting of Roads, Right of Way, water lines, sewer lines, storm drain and sidewalks to be dedicated to the City of Spring Hill free and clear of all encumbrances and liens, pursuant to the requirements of the Spring Hill Planning Commission and the City; and

WHEREAS, the Developer, simultaneously herewith, shall post a performance surety with the City for the construction, maintenance, and dedication of said improvements, if required;

WHEREAS, the Developer is desirous of offering for dedication the said improvements and land to the City more particularly described in Schedule plat attached hereto;

WHEREAS, the Developer has delivered Documents or Deeds of conveyance to the city for the said land and improvements as described herein;

NOW, THEREFORE, in consideration of the sum of one dollar (\$1.00) lawful money of the United States paid by the City to the Developer and other good and valuable consideration, it is mutually AGREED as follows:

- A. The Developer herewith delivers to the City Documents or Deeds of conveyance for the premises described in Schedule plat attached hereto, said delivery being a formal offer of dedication to the City until the acceptance or rejection of such offer of dedication by the City.
- B. The Developer agrees that said formal offer of Dedication is irrevocable and can be accepted by the City at any time.
- C. The Developer agrees to complete the construction and maintenance of the land and improvements pursuant to the performance surety and the requirements of the Spring Hill Planning Commission and any ordinances, regulations, requirements, covenants, and agreements that may be imposed by the City with respect thereto and, upon acceptance by the City of the offer of dedication, furnish to the City a sworn statement certifying that the premises are free and clear of all liens and encumbrances and shall furnish to the City a check for all necessary fees and taxes to record the Documents heretofore delivered.

- D. That this irrevocable offer of dedication shall run with land and shall be binding on all assigns, guarantees, successors, or heirs of the Developer.
- E. The City by action of the Board of Mayor and Aldermen on the ____ day of _____, 20____, accepted the infrastructure as presented in the offer of dedication and directed the governmental representative to sign the offer of dedication on behalf of the City

Developer Company Name:

Wewing Corporation

6/15/16 20____
Date

[Signature]
Developer Signature

(CORPORATE SEAL)

ATTEST: _____

FOR THE CITY OF SPRING HILL:

BY: _____
Signature

_____ 20____

Printed Name

ACKNOWLEDGEMENT:
COPARTNERSHIP

STATE OF TENNESSEE

(COUNTY OF _____) SS: _____

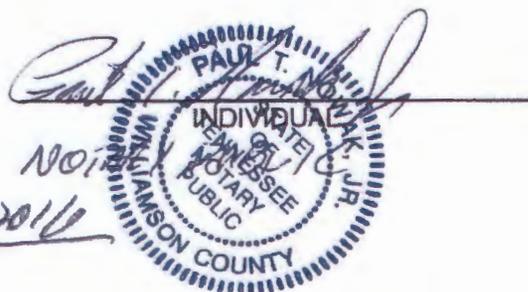
On this ___ day _____ of 20___, before me personally appeared _____, to me known to be one of the firm _____, described in and who executed the foregoing instrument, and he thereupon acknowledged to me that he executed such instrument as and for the act and deed of said firm.

CORPORATE

STATE OF TENNESSEE

(COUNTY OF WILLIAMSON) SS: _____

On this 15th day of JUNE 2016, before me personally appeared PAUL STENHARDT, to me known, who, being by me first duly sworn, did depose and say that he resides in TENNESSEE; that he is the PRESIDENT of WELLING CORPORATION the corporate seal affixed to said instrument is such corporate seal; that it was so affixed by order and authority of the Board of Directors of said corporation, and that he signed his name thereto by like order and authority.



MY COMMISSION EXPIRES 5-23-2016

RESOLUTION 16-115

A RESOLUTION AUTHORIZING ACCEPTANCE OF OFFER OF DEDICATION OF ROAD RIGHTS-OF-WAY AND PUBLIC IMPROVEMENTS SHOWN ON THE EXISTING PLAT FOR WOODSIDE PHASE 1A, 2A AND 2B

WHEREAS, Developer Regent Woodside Development, LLC has a recorded Final Plat for Woodside Phase 1A, 2A and 2B in Williamson County Plat Book P53, Page 62; Plat Book P53, Page 142 and Plat Book P55, Page 129; and

WHEREAS, said Plat show public rights-of-way proposed for dedication to the City of Spring Hill; and

WHEREAS, an Offer of Dedication, Deeds of Conveyance and a Maintenance Surety have been submitted pursuant to the Subdivision Regulations; and

WHEREAS, a Certificate of Satisfactory Completion has been furnished by the City of Spring Hill indicating that through inspections of the road rights-of-way, the design intent has been achieved; and

WHEREAS, the developer is required under Section VI, Section 6.3 of the Subdivision Regulations to submit an “as-built” survey of the public improvements including water, sewer and drainage; and

WHEREAS, on July 11, 2016, the City of Spring Hill Planning Commission recommended the Road Rights-of-Way and Public Improvements for Woodside Phase 1A, 2A and 2B be accepted; and

WHEREAS, the Board of Mayor and Aldermen deems it in the best interest of the City of Spring Hill that the Offer of Dedication of the Road Rights-of-Way be accepted and the same become a part of the public street system of the City of Spring Hill; and

NOW, THEREFORE BE IT RESOLVED, by the City of Spring Hill Board of Mayor and Aldermen that dedication and acceptance of Road Rights-of Way within Woodside Phase 1A, 2A and 2B as shown on the recorded plat is hereby approved.

Passed and adopted this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

SUBJECT: Acceptance of Road ROW & Public Improvements for Woodside Phase 1A, 2A and 2B

DATE: July 27, 2016

ATTENTION: Board of Mayor and Aldermen

STAFF: Missy Stahl, Project Manager



STAFF MEMORANDUM

The purpose of this memo is to provide information regarding a resolution to accept and the dedication of road rights-of-way and public improvements for Woodside Phase 1A, 2A and 2B, as recommended by the Planning Commission.

Background:

The Planning Commission recommends accepting the road rights-of-way and public improvements for Woodside Phase 1A, 2A and 2B, per PC Resolution 16-74 passed by the Planning Commission on July 11, 2016. The one year for the maintenance bond has been fulfilled and City staff has issued certificates of satisfaction for this phase .

** All phases are included in one resolution as all phases were bonded together initially with one bond.

Staff Recommendation:

Staff recommends approval of the request.

FORM FOR OFFER OF
IRREVOCABLE DEDICATION

AGREEMENT made this 21 day of June 2016, by and between the City of Spring Hill a municipal corporation, having its office and place of business at 199 Town Center Parkway, Spring Hill, Tennessee, hereinafter designated as the "City" and Regent Woodside Development LLC a TN LLC having its office and place of business at 601 Lenox Village Dr, Ste 101 hereinafter designated as the "developer". Nashville TN 37211

WHEREAS, the Spring Hill Planning Commission is in the process of approving a subdivision plat entitled Woodside 1A, 1B, 1C, 2A & 2B dated 2013 and prepared by H & H Land Surveying and 2B phases

WHEREAS, said plat designates certain public improvements consisting of Roads, Right of Way, water lines, sewer lines, storm drain and sidewalks to be dedicated to the City of Spring Hill free and clear of all encumbrances and liens, pursuant to the requirements of the Spring Hill Planning Commission and the City; and

WHEREAS, the Developer, simultaneously herewith, shall post a performance surety with the City for the construction, maintenance, and dedication of said improvements, if required;

WHEREAS, the Developer is desirous of offering for dedication the said improvements and land to the City more particularly described in Schedule plats attached hereto;

WHEREAS, the Developer has delivered Documents or Deeds of conveyance to the city for the said land and improvements as described herein;

NOW, THEREFORE, in consideration of the sum of one dollar (\$1.00) lawful money of the United States paid by the City to the Developer and other good and valuable consideration, it is mutually AGREED as follows:

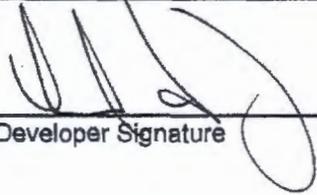
- A. The Developer herewith delivers to the City Documents or Deeds of conveyance for the premises described in Schedule plats attached hereto, said delivery being a formal offer of dedication to the City until the acceptance or rejection of such offer of dedication by the City.
- B. The Developer agrees that said formal offer of Dedication is irrevocable and can be accepted by the City at any time.
- C. The Developer agrees to complete the construction and maintenance of the land and improvements pursuant to the performance surety and the requirements of the Spring Hill Planning Commission and any ordinances, regulations, requirements, covenants, and agreements that may be imposed by the City with respect thereto and, upon acceptance by the City of the offer of dedication, furnish to the City a sworn statement certifying that the premises are free and clear of all liens and encumbrances and shall furnish to the City a check for all necessary fees and taxes to record the Documents heretofore delivered.

- D. That this irrevocable offer of dedication shall run with land and shall be binding on all assigns, guarantees, successors, or heirs of the Developer.
- E. The City by action of the Board of Mayor and Aldermen on the ____ day of _____, 20____, accepted the infrastructure as presented in the offer of dedication and directed the governmental representative to sign the offer of dedication on behalf of the City

Developer Company Name:

REGENT Woodside Development LLC

June 21 2016
Date


Developer Signature

(CORPORATE SEAL)

ATTEST: _____

FOR THE CITY OF SPRING HILL:

BY: _____
Signature

_____ 20 _____

Printed Name

ACKNOWLEDGEMENT:
COPARTNERSHIP

STATE OF TENNESSEE

(COUNTY OF Davidson) SS: 45-322 9578

On this 20th day of June of 2016, before me personally appeared DAVID MCGOWAN, to me known to be one of the firm Chief Manage, described in and who executed the foregoing instrument, and he thereupon acknowledged to me that he executed such instrument as and for the act and deed of said firm.

Reson + Woodside Partners
CORPORATE

Notary
ex 5-08-2018



STATE OF TENNESSEE

(COUNTY OF _____) SS: _____

On this _____ day of _____, 20____, before me personally appeared _____, to me known, who, being by me first duly sworn, did depose and say that he resides in _____; that he is the _____ of _____ the corporate seal affixed to said instrument is such corporate seal; that it was so affixed by order and authority of the Board of Directors of said corporation, and that he signed his name thereto by like order and authority.

INDIVIDUAL

RESOLUTION 16-116

A RESOLUTION AUTHORIZING ACCEPTANCE OF OFFER OF DEDICATION OF ROAD RIGHTS-OF-WAY AND PUBLIC IMPROVEMENTS SHOWN ON THE EXISTING PLAT FOR WOODSIDE PHASE 1B

WHEREAS, Developer Regent Woodside Development, LLC has a recorded Final Plat for Woodside Phase 1B in Williamson County Plat Book 60, P141; and

WHEREAS, said Plat show public rights-of-way proposed for dedication to the City of Spring Hill; and

WHEREAS, an Offer of Dedication, Deeds of Conveyance and a Maintenance Surety have been submitted pursuant to the Subdivision Regulations; and

WHEREAS, a Certificate of Satisfactory Completion has been furnished by the City of Spring Hill indicating that through inspections of the road rights-of-way, the design intent has been achieved; and

WHEREAS, the developer is required under Section VI, Section 6.3 of the Subdivision Regulations to submit an “as-built” survey of the public improvements including water, sewer and drainage; and

WHEREAS, on July 11, 2016, the City of Spring Hill Planning Commission recommended the Road Rights-of-Way and Public Improvements for Woodside Phase 1B be accepted; and

WHEREAS, the Board of Mayor and Aldermen deems it in the best interest of the City of Spring Hill that the Offer of Dedication of the Road Rights-of-Way be accepted and the same become a part of the public street system of the City of Spring Hill; and

NOW, THEREFORE BE IT RESOLVED, by the City of Spring Hill Board of Mayor and Aldermen that dedication and acceptance of Road Rights-of Way within Woodside Phase 1B as shown on the recorded plat is hereby approved.

Passed and adopted this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

SUBJECT: Acceptance of Road ROW & Public Improvements for Woodside Phase 1B

DATE: July 27, 2016

ATTENTION: Board of Mayor and Aldermen

STAFF: Missy Stahl, Project Manager



STAFF MEMORANDUM

The purpose of this memo is to provide information regarding a resolution to accept and the dedication of road rights-of-way and public improvements for Woodside Phase 1B, as recommended by the Planning Commission.

Background:

The Planning Commission recommends accepting the road rights-of-way and public improvements for Woodside Phase 1B, per PC Resolution 16-76 passed by the Planning Commission on July 11, 2016. The one year for the maintenance bond has been fulfilled and City staff has issued certificates of satisfaction for this phase.

Staff Recommendation:

Staff recommends approval of the request.

FORM FOR OFFER OF
IRREVOCABLE DEDICATION

AGREEMENT made this 21 day of June 2016, by and between the City of Spring Hill a municipal corporation, having its office and place of business at 199 Town Center Parkway, Spring Hill, Tennessee, hereinafter designated as the "City" and Regent Woodside Development LLC a TN LLC having its office and place of business at 601 Lenox Village Dr, Ste 101 hereinafter designated as the "developer". Nashville TN 37211

WHEREAS, the Spring Hill Planning Commission is in the process of approving a subdivision plat entitled Woodside 1A, 1B, 1C, 2A & 2B dated 2013 and prepared by H & H Land Surveying and 2B phases

WHEREAS, said plat designates certain public improvements consisting of Roads, Right of Way, water lines, sewer lines, storm drain and sidewalks to be dedicated to the City of Spring Hill free and clear of all encumbrances and liens, pursuant to the requirements of the Spring Hill Planning Commission and the City; and

WHEREAS, the Developer, simultaneously herewith, shall post a performance surety with the City for the construction, maintenance, and dedication of said improvements, if required;

WHEREAS, the Developer is desirous of offering for dedication the said improvements and land to the City more particularly described in Schedule plats attached hereto;

WHEREAS, the Developer has delivered Documents or Deeds of conveyance to the city for the said land and improvements as described herein;

NOW, THEREFORE, in consideration of the sum of one dollar (\$1.00) lawful money of the United States paid by the City to the Developer and other good and valuable consideration, it is mutually AGREED as follows:

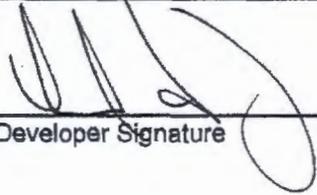
- A. The Developer herewith delivers to the City Documents or Deeds of conveyance for the premises described in Schedule plats attached hereto, said delivery being a formal offer of dedication to the City until the acceptance or rejection of such offer of dedication by the City.
- B. The Developer agrees that said formal offer of Dedication is irrevocable and can be accepted by the City at any time.
- C. The Developer agrees to complete the construction and maintenance of the land and improvements pursuant to the performance surety and the requirements of the Spring Hill Planning Commission and any ordinances, regulations, requirements, covenants, and agreements that may be imposed by the City with respect thereto and, upon acceptance by the City of the offer of dedication, furnish to the City a sworn statement certifying that the premises are free and clear of all liens and encumbrances and shall furnish to the City a check for all necessary fees and taxes to record the Documents heretofore delivered.

- D. That this irrevocable offer of dedication shall run with land and shall be binding on all assigns, guarantees, successors, or heirs of the Developer.
- E. The City by action of the Board of Mayor and Aldermen on the ____ day of _____, 20____, accepted the infrastructure as presented in the offer of dedication and directed the governmental representative to sign the offer of dedication on behalf of the City

Developer Company Name:

REGENT Woodside Development LLC

June 21 2016
Date


Developer Signature

(CORPORATE SEAL)

ATTEST: _____

FOR THE CITY OF SPRING HILL:

BY: _____
Signature

_____ 20 _____

Printed Name

ACKNOWLEDGEMENT:
COPARTNERSHIP

STATE OF TENNESSEE

(COUNTY OF Davidson) SS: 45-322 9578

On this 20th day of June of 2016, before me personally appeared DAVID MCGOWAN, to me known to be one of the firm Chief Manage, described in and who executed the foregoing instrument, and he thereupon acknowledged to me that he executed such instrument as and for the act and deed of said firm.

Reson + Woodside Partners
CORPORATE

Notary
ex 5-08-2018



STATE OF TENNESSEE

(COUNTY OF _____) SS: _____

On this _____ day of _____, 20____, before me personally appeared _____, to me known, who, being by me first duly sworn, did depose and say that he resides in _____; that he is the _____ of _____ the corporate seal affixed to said instrument is such corporate seal; that it was so affixed by order and authority of the Board of Directors of said corporation, and that he signed his name thereto by like order and authority.

INDIVIDUAL

RESOLUTION 16-117

A RESOLUTION AUTHORIZING ACCEPTANCE OF OFFER OF DEDICATION OF ROAD RIGHTS-OF-WAY AND PUBLIC IMPROVEMENTS SHOWN ON THE EXISTING PLAT FOR WOODSIDE PHASE 1C

WHEREAS, Developer Regent Woodside Development, LLC has a recorded Final Plat for Woodside Phase 1C in Williamson County Plat Book 60, P142; and

WHEREAS, said Plat show public rights-of-way proposed for dedication to the City of Spring Hill; and

WHEREAS, an Offer of Dedication, Deeds of Conveyance and a Maintenance Surety have been submitted pursuant to the Subdivision Regulations; and

WHEREAS, a Certificate of Satisfactory Completion has been furnished by the City of Spring Hill indicating that through inspections of the road rights-of-way, the design intent has been achieved; and

WHEREAS, the developer is required under Section VI, Section 6.3 of the Subdivision Regulations to submit an “as-built” survey of the public improvements including water, sewer and drainage; and

WHEREAS, on July 11, 2016, the City of Spring Hill Planning Commission recommended the Road Rights-of-Way and Public Improvements for Woodside Phase 1C be accepted; and

WHEREAS, the Board of Mayor and Aldermen deems it in the best interest of the City of Spring Hill that the Offer of Dedication of the Road Rights-of-Way be accepted and the same become a part of the public street system of the City of Spring Hill; and

NOW, THEREFORE BE IT RESOLVED, by the City of Spring Hill Board of Mayor and Aldermen that dedication and acceptance of Road Rights-of Way within Woodside Phase 1C as shown on the recorded plat is hereby approved.

Passed and adopted this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

SUBJECT: Acceptance of Road ROW & Public Improvements for Woodside Phase 1C

DATE: July 27, 2016

ATTENTION: Board of Mayor and Aldermen

STAFF: Missy Stahl, Project Manager



STAFF MEMORANDUM

The purpose of this memo is to provide information regarding a resolution to accept and the dedication of road rights-of-way and public improvements for Woodside Phase 1C, as recommended by the Planning Commission.

Background:

The Planning Commission recommends accepting the road rights-of-way and public improvements for Woodside Phase 1C, per PC Resolution 16-79 passed by the Planning Commission on July 11, 2016. The one year for the maintenance bond has been fulfilled and City staff has issued certificates of satisfaction for this phase.

Staff Recommendation:

Staff recommends approval of the request.

FORM FOR OFFER OF
IRREVOCABLE DEDICATION

AGREEMENT made this 21 day of June 2016, by and between the City of Spring Hill a municipal corporation, having its office and place of business at 199 Town Center Parkway, Spring Hill, Tennessee, hereinafter designated as the "City" and Regent Woodside Development LLC a TN LLC having its office and place of business at 601 Lenox Village Dr, Ste 101 hereinafter designated as the "developer". Nashville TN 37211

WHEREAS, the Spring Hill Planning Commission is in the process of approving a subdivision plat entitled Woodside 1A, 1B, 1C, 2A & 2B dated 2013 and prepared by H & H Land Surveying and 2B phases

WHEREAS, said plat designates certain public improvements consisting of Roads, Right of Way, water lines, sewer lines, storm drain and sidewalks to be dedicated to the City of Spring Hill free and clear of all encumbrances and liens, pursuant to the requirements of the Spring Hill Planning Commission and the City; and

WHEREAS, the Developer, simultaneously herewith, shall post a performance surety with the City for the construction, maintenance, and dedication of said improvements, if required;

WHEREAS, the Developer is desirous of offering for dedication the said improvements and land to the City more particularly described in Schedule plats attached hereto;

WHEREAS, the Developer has delivered Documents or Deeds of conveyance to the city for the said land and improvements as described herein;

NOW, THEREFORE, in consideration of the sum of one dollar (\$1.00) lawful money of the United States paid by the City to the Developer and other good and valuable consideration, it is mutually AGREED as follows:

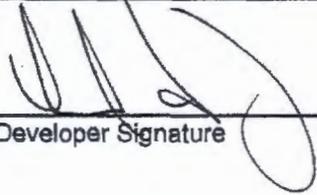
- A. The Developer herewith delivers to the City Documents or Deeds of conveyance for the premises described in Schedule plats attached hereto, said delivery being a formal offer of dedication to the City until the acceptance or rejection of such offer of dedication by the City.
- B. The Developer agrees that said formal offer of Dedication is irrevocable and can be accepted by the City at any time.
- C. The Developer agrees to complete the construction and maintenance of the land and improvements pursuant to the performance surety and the requirements of the Spring Hill Planning Commission and any ordinances, regulations, requirements, covenants, and agreements that may be imposed by the City with respect thereto and, upon acceptance by the City of the offer of dedication, furnish to the City a sworn statement certifying that the premises are free and clear of all liens and encumbrances and shall furnish to the City a check for all necessary fees and taxes to record the Documents heretofore delivered.

- D. That this irrevocable offer of dedication shall run with land and shall be binding on all assigns, guarantees, successors, or heirs of the Developer.
- E. The City by action of the Board of Mayor and Aldermen on the ____ day of _____, 20____, accepted the infrastructure as presented in the offer of dedication and directed the governmental representative to sign the offer of dedication on behalf of the City

Developer Company Name:

REGENT Woodside Development LLC

June 21 2016
Date


Developer Signature

(CORPORATE SEAL)

ATTEST: _____

FOR THE CITY OF SPRING HILL:

BY: _____
Signature

_____ 20 _____

Printed Name

ACKNOWLEDGEMENT:
COPARTNERSHIP

STATE OF TENNESSEE

(COUNTY OF Davidson) SS: 45-322 9578

On this 20th day of June of 2016, before me personally appeared DAVID MCGOWAN, to me known to be one of the firm Chief Manage, described in and who executed the foregoing instrument, and he thereupon acknowledged to me that he executed such instrument as and for the act and deed of said firm.

Reson + Woodside Partners
CORPORATE

Notary
ex 5-08-2018



STATE OF TENNESSEE

(COUNTY OF _____) SS: _____

On this _____ day of _____, 20____, before me personally appeared _____, to me known, who, being by me first duly sworn, did depose and say that he resides in _____; that he is the _____ of _____ the corporate seal affixed to said instrument is such corporate seal; that it was so affixed by order and authority of the Board of Directors of said corporation, and that he signed his name thereto by like order and authority.

INDIVIDUAL

RESOLUTION NO. 16-118

RESOLUTION OF THE BOARD OF MAYOR AND ALDERMEN OF THE CITY OF SPRING HILL, TENNESSEE TO APPROVE THE ISSUANCE OF BONDS BY THE HEALTH AND EDUCATIONAL FACILITIES BOARD OF THE COUNTY OF FRANKLIN, TENNESSEE FOR THE BENEFIT OF BTT DEVELOPMENT II, L.P., AND VILLAGE ASSOCIATES, L.P.

WHEREAS, The Health and Educational Facilities Board of the County of Franklin, Tennessee (the "Issuer"), a corporation organized and existing pursuant to Title 48, Chapter 101, Part 3, Tennessee Code Annotated, as amended (the "Act"), proposes to issue its multifamily housing revenue bonds, in one or more series, in the aggregate principal amount of not to exceed \$25,400,000 (the "Bonds") and to loan the proceeds of the Bonds to BTT Development II, L.P. and/or Village Associates, L.P., each a Tennessee limited partnership, to finance the acquisition and rehabilitation of approximately 447 units of certain existing multifamily housing facilities located in the following cities and counties in the State of Tennessee: Decherd, Franklin County; Covington, Tipton County; Lexington, Henderson County; Bolivar, Hardeman County; Brownsville, Haywood County; Spring Hill, Maury County; Lawrenceburg, Lawrence County; Savannah, Hardin County; Centerville, Hickman County; and Stanton, Haywood County;

WHEREAS, proceeds of the Bonds in the principal amount of not to exceed \$1,900,000 will be loaned to Village Associates, L.P., a Tennessee limited partnership, to finance the acquisition and rehabilitation of an existing approximately 32 unit multifamily housing facility located at or near 2593 Duplex Road, Spring Hill, Maury County, Tennessee (the "Spring Hill Facilities");

WHEREAS, the Act requires that the Board of Mayor and Aldermen for the City of Spring Hill, Tennessee (the "Board") approve the financing of the facilities located in the City of Spring Hill, Tennessee, the Spring Hill Facilities being within the jurisdiction of the Board; and

WHEREAS, notice of the intention of the Board to hold a public hearing with respect to the proposed plan of financing for the issuance of the Bonds to finance the Spring Hill Facilities was published in accordance with the provisions of Section 147(f) of the Internal Revenue Code of 1986, as amended (the "Code"); and

WHEREAS, the Board has conducted the public hearing and, at such hearing, afforded an opportunity to all persons desiring to be heard on the question of the proposed issuance of the Bonds pursuant to the plan of financing for the Spring Hill Facilities; and

WHEREAS, Section 147(f) of the Code provides that the governmental unit having jurisdiction over the issuer of private activity bonds and over the area in which any

facility financed with the proceeds of such private activity bonds is located shall approve the issuance of such bonds; and

WHEREAS, the Spring Hill Facilities are located in the City of Spring Hill, Tennessee (the "City"), and the Board is the governmental unit having jurisdiction over the City.

NOW, THEREFORE, BE IT RESOLVED BY THIS LEGISLATIVE BODY IN SESSION ASSEMBLED:

(1) The Board hereby approves the financing of the Spring Hill Facilities as required by the Act.

(2) The Board hereby approves the issuance of the Bonds as required by the Act.

(3) The plan of financing for the issuance of the Bonds by the Issuer in one or more series is hereby approved as follows:

(a) the Bonds shall be issued in an aggregate principal amount of not to exceed \$25,400,000;

(b) proceeds of the Bonds in the amount of not of exceed \$1,900,000 will be loaned to Village Associates, L.P., to acquire and rehabilitate the Spring Hill Facilities, consisting of approximately 32 units of multifamily housing facilities located at 2593 Duplex Road, Spring Hill, Tennessee; and

(c) The Spring Hill Facilities will be owned by Village Associates, L.P., a Tennessee limited partnership.

(4) This approval is solely for the purpose of complying with the provisions of the Act and Section 147(f) of the Code, and shall not result in or impose any pecuniary liability upon, or constitute a lien upon, the property, or a claim against, the State of Tennessee or any political subdivision thereof, including the City of Spring Hill, Tennessee,

(5) All acts and doings of the officers and board members of the Board which are in conformity with the purposes of this Resolution are, in all respects, approved and confirmed,

(6) The Mayor is hereby authorized to execute any and all documents or certificates necessary to approve the Bonds and the financing of the Spring Hill Facilities.

(7) All resolutions or parts thereof of the Board in conflict with the provisions herein contained are, to the extent of such conflict, hereby superseded and repealed.

(8) This Resolution shall be effective immediately upon its adoption.

BE IT FURTHER RESOLVED THAT THIS RESOLUTION TAKE EFFECT FROM AND AFTER ITS PASSAGE THE PUBLIC WELFARE REQUIRING IT.

Adopted and approved this 15th day of August, 2016.

CITY OF SPRING HILL, TENNESSEE

Rick Graham, Mayor

April Goad, City Recorder

Patrick Carter, City Attorney

(A) the rehabilitation expenditures with respect to such building, equal or exceed

(B) 15 percent of the portion of the cost of acquiring such building (and equipment) financed with the net proceeds of the issue.

A rule similar to the rule of the preceding sentence shall apply in the case of structures other than a building except that subparagraph (B) shall be applied by substituting "100 percent" for "15 percent".

(3) Rehabilitation expenditures.--For purposes of this subsection--

(A) **In general.**--Except as provided in this paragraph, the term "rehabilitation expenditures" means any amount properly chargeable to capital account which is incurred by the person acquiring the building for property (or additions or improvements to property) in connection with the rehabilitation of a building. In the case of an integrated operation contained in a building before its acquisition, such term includes rehabilitating existing equipment in such building or replacing it with equipment having substantially the same function. For purposes of this subparagraph, any amount incurred by a successor to the person acquiring the building or by the seller under a sales contract with such person shall be treated as incurred by such person.

(B) **Certain expenditures not included.**--The term "rehabilitation expenditures" does not include any expenditure described in section 47(c)(2)(B).

(C) **Period during which expenditures must be incurred.**--The term "rehabilitation expenditures" shall not include any amount which is incurred after the date 2 years after the later of--

(i) the date on which the building was acquired, or

(ii) the date on which the bond was issued.

(4) Special rule for certain projects.--In the case of a project involving 2 or more buildings, this subsection shall be applied on a project basis.

(e) **No portion of bonds may be issued for skyboxes, airplanes, gambling establishments, etc.**--A private activity bond shall not be a qualified bond if issued as part of an issue and any portion of the proceeds of such issue is to be used to provide any airplane, skybox or other private luxury box, health club facility, facility primarily used for gambling, or store the principal business of which is the sale of alcoholic beverages for consumption off premises. The preceding sentence shall not apply to any fixed-wing aircraft equipped for, and exclusively dedicated to providing, acute care emergency medical services (within the meaning of section 4261(g) (2)).

(f) Public approval required for private activity bonds.--

(1) In general.--A private activity bond shall not be a qualified bond unless such bond satisfies the requirements of paragraph (2).

(2) Public approval requirement.--

(A) In general.--A bond shall satisfy the requirements of this paragraph if such bond is issued as a part of an issue which has been approved by--

(i) the governmental unit--

(I) which issued such bond, or

(II) on behalf of which such bond was issued, and

(ii) each governmental unit having jurisdiction over the area in which any facility, with respect to which financing is to be provided from the net proceeds of such issue, is located (except that if more than 1 governmental unit within a State has jurisdiction over the entire area within such State in which such facility is located, only 1 such unit need approve such issue).

(B) Approval by a governmental unit.--For purposes of subparagraph (A), an issue shall be treated as having been approved by any governmental unit if such issue is approved--

(i) by the applicable elected representative of such governmental unit after a public hearing following reasonable public notice, or

(ii) by voter referendum of such governmental unit.

(C) Special rules for approval of facility.--If there has been public approval under subparagraph (A) of the plan for financing a facility, such approval shall constitute approval under subparagraph (A) for any issue--

(i) which is issued pursuant to such plan within 3 years after the date of the 1st issue pursuant to the approval, and

(ii) all or substantially all of the proceeds of which are to be used to finance such facility or to refund previous financing under such plan.

(D) Refunding bonds.--No approval under subparagraph (A) shall be necessary with respect to any bond which is issued to refund (other than to advance refund) a bond approved under subparagraph (A) (or treated as approved under subparagraph (C)) unless the average maturity date of the issue of which the refunding bond is a part is later

than the average maturity date of the bonds to be refunded by such issue. For purposes of the preceding sentence, average maturity shall be determined in accordance with subsection (b)(2)(A).

(E) Applicable elected representative.--For purposes of this paragraph--

(i) In general.--The term "applicable elected representative" means with respect to any governmental unit--

(I) an elected legislative body of such unit, or

(II) the chief elected executive officer, the chief elected State legal officer of the executive branch, or any other elected official of such unit designated for purposes of this paragraph by such chief elected executive officer or by State law.

If the office of any elected official described in subclause (II) is vacated and an individual is appointed by the chief elected executive officer of the governmental unit and confirmed by the elected legislative body of such unit (if any) to serve the remaining term of the elected official, the individual so appointed shall be treated as the elected official for such remaining term.

(ii) No applicable elected representative.--If (but for this clause) a governmental unit has no applicable elected representative, the applicable elected representative for purposes of clause (i) shall be the applicable elected representative of the governmental unit--

(I) which is the next higher governmental unit with such a representative, and

(II) from which the authority of the governmental unit with no such representative is derived.

(3) Special rule for approval of airports or high-speed intercity rail facilities.--If--

(A) the proceeds of an issue are to be used to finance a facility or facilities located at an airport or high-speed intercity rail facilities, and

(B) the governmental unit issuing such bonds is the owner or operator of such airport or high-speed intercity rail facilities,

such governmental unit shall be deemed to be the only governmental unit having jurisdiction over such airport or high-speed intercity rail facilities for purposes of this subsection.

(4) Special rules for scholarship funding bond issues and volunteer fire department bond issues.--

(A) Scholarship funding bonds.--In the case of a qualified scholarship funding bond, any governmental unit which made a request described in section 150(d)(2)(B) with respect to the issuer of such bond shall be treated for purposes

of paragraph (2) of this subsection as the governmental unit on behalf of which such bond was issued. Where more than one governmental unit within a State has made a request described in section 150(d)(2)(B), the State may also be treated for purposes of paragraph (2) of this subsection as the governmental unit on behalf of which such bond was issued.

(B) Volunteer fire department bonds.--In the case of a bond of a volunteer fire department which meets the requirements of section 150(e), the political subdivision described in section 150(e)(2)(B) with respect to such department shall be treated for purposes of paragraph (2) of this subsection as the governmental unit on behalf of which such bond was issued.

(g) Restriction on issuance costs financed by issue.--

(1) In general.--A private activity bond shall not be a qualified bond if the issuance costs financed by the issue (of which such bond is a part) exceed 2 percent of the proceeds of the issue.

(2) Special rule for small mortgage revenue bond issues.--In the case of an issue of qualified mortgage bonds or qualified veterans' mortgage bonds, paragraph (1) shall be applied by substituting "3.5 percent" for "2 percent" if the proceeds of the issue do not exceed \$20,000,000.

(h) Certain rules not to apply to certain bonds.--

(1) Mortgage revenue bonds and qualified student loan bonds.--Subsections (a), (b), (c), and (d) shall not apply to any qualified mortgage bond, qualified veterans' mortgage bond, or qualified student loan bond.

(2) Qualified 501(c)(3) bonds.--Subsections (a), (c), and (d) shall not apply to any qualified 501(c)(3) bond and subsection (e) shall be applied as if it did not contain "health club facility" with respect to such a bond.

(3) Exempt facility bonds for qualified public-private schools.--Subsection (c) shall not apply to any exempt facility bond issued as part of an issue described in section 142(a)(13) (relating to qualified public educational facilities).

CREDIT(S)

(Added Pub.L. 99-514, Title XIII, § 1301(b), Oct. 22, 1986, 100 Stat. 2635; amended Pub.L. 100-647, Title I, § 1013(a)(11), (12), (13)(A), (B), (29), (36), Title VI, § 6180(b)(4), (5), Nov. 10, 1988, 102 Stat. 3539, 3543, 3544, 3728; Pub.L. 101-239, Title VII, § 7816(s)(3), Dec. 19, 1989, 103 Stat. 2423; Pub.L. 101-508, Title XI, § 11813(b)(8), Nov. 5, 1990, 104 Stat. 1388-552; Pub.L. 104-188, Title I, § 1117(a), (b), Aug. 20, 1996, 110 Stat. 1764; Pub.L. 107-16, Title IV, § 422(d), (e), June 7, 2001, 115 Stat. 66; Pub.L. 110-234, Title XV, § 15341(a) to (d), May 22, 2008, 122 Stat. 1517; Pub.L. 110-246, § 4(a), Title XV, § 15341(a) to (d), June 18, 2008, 122 Stat. 1664, 2279; Pub.L. 112-95, Title XI, § 1105(a), Feb. 14, 2012, 126 Stat. 152.)

ADJUSTMENT OF AMOUNTS UNDER SUBSEC. (C)(2)(A)

<For loan limit amount on agricultural bonds under subsec. (c)(2)(A) of this section for calendar year 2016, see section 3.21 of Revenue Procedure 2015-53, set out as a note under 26 U.S.C.A. § 1.>

§ 147. Other requirements applicable to certain private activity bonds, 26 USCA § 147

26 U.S.C.A. § 147, 26 USCA § 147

Current through P.L. 114-197. Also includes P.L. 114-199.

End of Document

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April Goad

From: Cindy Barnett <CINDY.BARNETT@arlaw.com>
Sent: Thursday, July 14, 2016 2:45 PM
To: April Goad
Subject: FW: City of Spring Hill Meeting Request
Attachments: TN Property Portfolio Request Letter.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Thank you very much for your time today. Below is the email I sent to Mr. Lay yesterday.

From: Cindy Barnett
Sent: Wednesday, July 13, 2016 5:08 PM
To: vlay@springhilltn.org
Subject: City of Spring Hill Meeting Request

Dear Mr. Lay,

I am writing to ask your assistance in placing a matter on the August 15, 2016 BMA meeting agenda as a consent matter for one of my clients.

Is there a convenient time I could call you on Thursday July 14 to discuss this with you?

Our client is acquiring several residential rental properties across the State of Tennessee and one of them is in your jurisdiction: Spring Hill Village Apartments, 2593 Duplex Road, 32 units to be renovated.

The City is not being asked to issue any debt, but state law requires we notify you that some Franklin County Board bond proceeds will be used in your jurisdiction.

Thank you. We appreciate your help very much.

Cindy Barnett

Partner

ADAMS AND REESE LLP

424 Church Street, Suite 2700 | Nashville, TN 37219
main 615.259.1450 | direct 615.259.1454 | mobile 615.406.2897
efax 615.687.1499 | fax 615.259.1470

cindy.barnett@arlaw.com

website bio vCard map





VOLUNTEER MANAGEMENT & DEVELOPMENT CO., INC.

July 11, 2016

Mike Rowland, Chairman
The Health and Education Facilities Board of Franklin County
107 1st Ave. NE
Winchester, TN 37398

RE: Tursky-Holloway Portfolio

Dear Mr. Rowland:

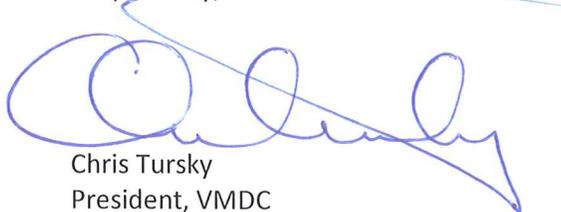
Chris Tursky and Russell Holloway, through BTT Development II and Village Associates, propose to acquire and renovate 12 low to moderate income apartment complexes in Tennessee. Eight of these are designated for families and four are specifically for elderly and/or handicapped households. All of the properties were built in the mid 80's or early 90's and are currently financed with USDA Rural Development loans. In an effort to preserve these properties, the developers are working closely with the Tennessee Housing Development Agency and Rural Development. These agencies are providing tax credits and tax-exempt bond authority and deferring payments on existing loans and guaranteeing new loans on the properties, respectively to allow rents to remain affordable for the tenants after the renovations.

One of the properties is located in Decherd, therefore, we are asking the Franklin County Health and Education Facilities Board to serve as the host issuer for the complete portfolio. We will also obtain the consent of the jurisdictions of the other properties, and if approved will result in more efficient financing for the development.

Our proposal includes a comprehensive renovation of all of the properties extending their life for an additional 30 years and providing much needed housing for low/moderate income families in these communities.

Chris Tursky, President of Volunteer Mgmt. & Dev. Co. in Jackson, TN has been in the Housing and Management business since 1989. Volunteer Mgmt. currently manages 35 properties financed by USDA Rural Development and has participated in the renovation of 13 properties in the last 5 years. Volunteer Mgmt. is teaming up with Russell Holloway of Navigo Development Group in Lawrenceburg, TN who has acquired and renovated 3 Rural Development properties in the last 5 years. Financing for these types of properties in rural Tennessee is very limited; therefore, the use of tax-exempt bonds and low income housing tax credits is one of the few options available to preserve this housing.

Respectfully,



Chris Tursky
President, VMDC

60 Miller Avenue – Jackson, TN 38305 Phone: (731) 554-2320 Fax: (731) 554-2322
TTY: KY: (800) 648-6056 TN: (800) 848-0298



This institution is an equal opportunity provider and employer.



NOTICE OF PUBLIC HEARING ON PROPOSED FINANCING BY THE HEALTH AND EDUCATIONAL FACILITIES BOARD OF THE COUNTY OF FRANKLIN, TENNESSEE

You are hereby notified that the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee (the "City"), will hold a public hearing at 7:00 p.m. local time, on Monday, August 15, 2016, in the Courtroom of City Hall at 199 Town Center Parkway, Spring Hill, Tennessee 37174, in connection with the proposed plan of financing involving the issuance of not to exceed \$25,400,000 multifamily housing revenue bonds, in one or more series (the "Bonds"), by The Health and Educational Facilities Board of the County of Franklin, Tennessee, the proceeds of such Bonds to be loaned to BTT Development II, L.P., and/or Village Associates, L.P., each a Tennessee limited partnership, to finance the acquisition and rehabilitation of certain existing multifamily housing facilities totaling approximately 447 units located in the following cities and counties in the State of Tennessee: Decherd, Franklin County; Covington, Tipton County; Lexington, Henderson County; Bolivar, Hardeman County; Brownsville, Haywood County; Spring Hill, Maury County; Lawrenceburg, Lawrence County; Savannah, Hardin County; Centerville, Hickman County; Waynesboro, Wayne County; and Stanton, Haywood County.

Proceeds of the Bonds in the amount of not to exceed \$1,900,000 are to be loaned to Village Associates, L.P., a Tennessee limited partnership, to finance the acquisition and rehabilitation of an existing approximately 32 unit multifamily housing facility located at or near 2593 Duplex Road, Spring Hill, Maury County, Tennessee (the "Spring Hill Facilities"). All of the Spring Hill Facilities will be owned by Village Associates, L.P.

A public hearing (pursuant to Section 147(f) of the Internal Revenue Code of 1986, as amended) will be held at the above location in connection with the proposed plan of financing involving the issuance of the Bonds and the location and nature of the Spring Hill Facilities to be financed with the proceeds of the Bonds. At such public hearing there will be an opportunity for persons to express their views concerning the foregoing. Anyone may appear in person at such public hearing or submit written comments to be considered thereat.

The proposed Bonds will not constitute an indebtedness or obligation of the City of Spring Hill, Tennessee. Additional information concerning the above may be obtained from, and written comments should be addressed to, Victor Lay, City Administrator, 199 Town Center Parkway, Spring Hill, Tennessee 37174, telephone (931)486-2252.

Board of Mayor and Aldermen of the City of
Spring Hill, Tennessee
April Goad, City Recorder

STATE OF TENNESSEE

COUNTY OF MAURY

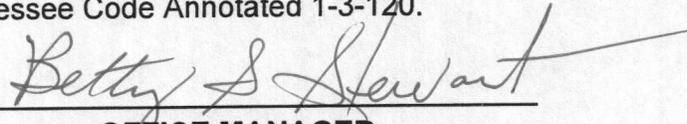
PROOF OF PUBLICATION

Before me, Vickie L. Woody, of the county and state of aforesaid, personally appeared Betty Stewart, with whom I am personally acquainted and who upon oath acknowledged herself to be the Office Manager of **THE DAILY HERALD**, a newspaper published in the City of Columbia, in said county and state, who, on oath, deposes and says that the publication of which the annexed slip is a true copy, was published in said newspaper

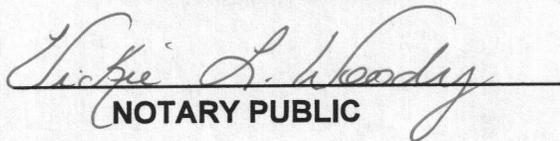
JULY 27, 2016

20.00"

This legal notice was published online at www.columbiadailyherald.com and <http://www.publicnoticeads.com/TN/> during the duration of the run dates listed. This publication fully complies with Tennessee Code Annotated 1-3-120.



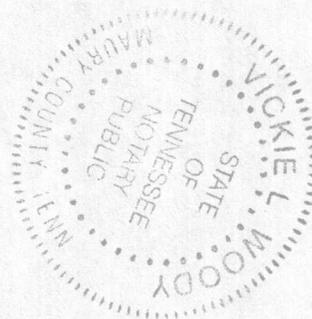
OFFICE MANAGER



NOTARY PUBLIC

Subscribed and sworn to before me, this 27th day of July 2016.

MY COMMISSION EXPIRES:
JUNE 25, 2017



— CLASSIFIED HEADINGS —

Business Directory

- Appliance Repair
- General Services
- Miscellaneous Services
- Painting
- Remodeling
- Tree Services

Garage Sales

Farmers Market

- Pets and Livestock

Merchandise

- Appliances
- Auctions
- Furniture
- Misc. For Sale
- Wanted to Buy

Lost and Found

Announcements

Employment

- Drivers-Trucking
- General Help Wanted

Legal Ads

Recreation

- Campers

Transportation

- Automobiles/Trucks

Real Estate

- Apartments Unfurnished
- Commercial Property
- Homes For Sale
- Mobile Homes for Rent
- Mobile Homes for Sale
- Office - - Retail
- Roommates Wanted
- Duplexes

CALL 388-6464 ASK FOR CLASSIFIED

Garage Sale-3

Estate Sales

ESTATE/GARAGE SALE. July 28, 29 and 30. Warrior Golf Clubs, Lead Crystal Glass, Furniture, etc. 5015 Wiley Hollow Rd. Open 8am.

Merchandise

Appliances

For sale: 1 washer, 1 dryer, 1 stove and 1 side by side refrigerator. Call (931)446-3329.

Burial Plots

2 CEMETERY plots, side by side. Polk Memorial Gardens. Garden of Devotion section. \$2,500 total. Call (612)210-8824.

Furniture-Merch

FOR SALE Electric Recliner \$300 obo, 32 inch flat screen tv \$150 obo, Mini refrigerator \$150 obo. (931)446-7513.

Misc For Sale

REFRIGERATOR, \$200. Excellent Condition. Columbia Vacuum, 410 South James Campbell.

VACUUM WITH all the attachments. Runs good, \$19.95. Columbia Vacuum, 410 James Campbell Blvd.

WASHER/DRYER IN excellent condition. \$300. Columbia Vacuum, 410 South James Campbell.

Buildings & Garages

BMC STORAGE Buildings, Garages, Carports. Locally owned since 1993. Same Day Delivery. Compare & See Quality. (931)242-2969. New location Summertown.

MASH STORAGE Building Transport. Experience moving sheds of all sizes since 2000. Phil Mash, (931)619-4177.

Lost and Found

LOOKING FOR YOUR LOST PET? CHECK www.petfinder.org /shelters/TN51.html Then click on lost pets or call Maury County Animal Shelter, (931)540-0897.

LOST: Natchez Trace area Hwy 7. Border Collie black w/ white on nose and feet. Red collar no tags. Lost since last Saturday. Call (931)682-9137.

Employment

Drivers - Trucking

DRIVERS WANTED. Home Weekends. Guaranteed three night a week to be home. Will have benefits. Vacation pay and Holiday pay. Class A CDL required. 2 years experience. Call Elk Ridge Express, (931)388-4499, 1-800-861-9917.

LOCAL COMPANY looking for Truck Driver with Class A CDL License. (931)381-3535.

Employment Wanted 2

FARM POSITION part time 2 days or more. Must have experience with animals on farm equipment/ maintenance. (931)388-5113.

General Help Wanted

CRUMLEY'S ELECTRIC is hiring Lead Man and Helper. Must have own tools and experience. Please call Tim at (931)446-1081 to apply.

General Help Wanted

ELECTRICIANS NEEDED. Must have 3 years experience in residential and commercial. Must have valid drivers license and drug testing required. (931)381-7477.

EXPERIENCED AND Non-experienced laborers doing all types of construction. Also, may do some roofing. Mostly in Maury County. Pay based on experience. Call (615)504-7340.

FLORAL DESIGNER or Delivery Driver needed. 2 to 3 days per week. Small hometown shop. Great working environment. No holidays. Top pay in our area. (931)388-9745.

HELP WANTED-Warehouseman. Must be able to lift 50lbs. Must have clean driving record. Job details include: Packaging products for warehouse, local delivery and janitorial. Apply in person, R & R Distributing Company, 102 Wayne St., Columbia. Benefits available after 90 days.

HVAC LEAD Technician (3-5 years' experience): Must be able to: diagnose and repair HVAC and refrigeration problems without assistance, possess leadership skills, lift 50 pounds, climb ladders, and have good communication skills. Must have: a attention to detail, a valid driver's license with a clean record, and be able to pass a pre-employment drug screen and background check. To apply, come by our office at 606 N. Main Street, Columbia between 8:00 AM - 4:00 PM 931-388-4862 Pay DOE: \$14 - \$20 DOE

General Help Wanted

EZ DISTRIBUTING is seeking MIG welders in Columbia, TN. Must be able to weld 14 gauge to 1/2" metal & pass a welding test. Starting pay \$12/hr. Benefits available after 90 days probation. Hours are 6-4:30 M-Th. Must have reliable transportation & willing to work overtime. Apply in person at 810 Mayberry Springs Rd.

LAWN CARE Crew Leader and Laborer. Must have valid driver's license. Must be dependable and have lawn care experience. Able to run 0-turn mowers. Located out of Culleoka. Please call (931)626-6003.

LGC IS seeking a qualified candidate for Software Deployment Technician. The candidate will work primarily from the Columbia office. This position works in conjunction with the AOC (Administrative Office of the Courts) to supply software updates to our court software packages. Job duties include maintaining testing infrastructure, release management, and installation of releases to all court customers. Some projects may require occasional after hours or weekend deployment during non-usage hours. Good communication skills, strong organizational skills and good problem solving skills are a must for this position. Knowledge of Windows desktop and server operating systems, MS Office products and Networking is a plus. Salary DOE. Please e-mail resume to hr@localgovcorp.com or fax to 931-380-1258.

General Help Wanted

LOCAL JANITORIAL company has full time, part time positions available. Must be able to work day (morning), night (evening). Must have dependable transportation. Drug test and background check mandatory. Send to Employee Applicant, PMB 186, 1116 West 7th St., Columbia, TN 38401.

LOCAL TRUCK driver needed with CDL and HAZMAT. Fax resume to (931)381-0360 or deliver to R & R Distributing Company, dba Gibson Oil Company, 102 Wayne St., Columbia.

MANGRUM ENTERPRISES is currently hiring security officers for the Columbia area. Must be able to pass drug screen and background check. Call (931)215-1678 for interview.

MIDDLE TENNESSEE Juvenile Detention has fill in positions for Youth Service Workers, Weekend Transport Officer and Shift Supervisor. No experience necessary. \$12 per hour. Also, some Full-time and Part-time positions available, starting at \$11 per hour. Candidates must have high school diploma or GED. Must pass extensive background check, with no felonies, and in-house physical with drug test. No phone calls please. Apply in person: 1272 Lawson White Drive, Columbia, M-F, 8am-3pm.

General Help Wanted

PAVING COMPANY located in Thompsons Station looking for laborers and equipment operators. Call (615)456-9026.

TRAVEL CENTERS of America. Hiring cooks, dishwashers, servers. Cooks up to \$14.00 per hour. Full time, Full package. (615)794-8406, ext. 13.

Medical - Dental

LPN/ CNA Needed in Columbia area. Great pay. Go to www.chcstn.com to apply or call (931)451-5445 for interview.

Real Estate

Apartments Furnished

1BR APARTMENT FOR Rent. Living room/kitchen combination, furniture, 83 channels of tv, utilities furnished. 917 South High. 190 per week, 250 deposit. (931)380-1519, (931)626-6359.

Apartments Unfurnished

COLUMBIA APARTMENTS Close to Downtown 1106 West 7th Street Beautiful Hilltop Location 1,2,3 Bedroom Appliances, Blinds. Premises No Pets (931)388-1211 EHO

YARD SALES START HERE



STOP IN FOR SOME GREAT DEALS!!! At Countryside Village

We have 2, 3, and 4 Bedroom, 2 bath homes. Brand new Doublewides, and singlewides. Rent starting as low as \$599.00 per month!!! "Rent" "Buy" "Lease to Purchase" Your Choice We also have previously loved homes for Rent and for Sale..... LET MY STAFF HELP YOU MAKE YOUR DREAM OF "HOME OWNERSHIP" BECOME A "REALITY" CALL TODAY AND SPEAK TO SUE OR HEATHER

931-388-8412
Where the American Dream of Home Ownership BECOMES A REALITY!
COUNTRYSIDE VILLAGE
200 Early Road (931)388-8412
Licensed by the TN Dept. of Revenue NMLS# 200331

NOTICE TO CREDITORS
As required by TCA §30-2-306
P-154-16
Notice is hereby given that on July 6 of 2016 Letters Testamentary in respect of the estate of James Haldor Primm who died 5/2/2016, were issued to the undersigned by the Maury County Chancery Court of Maury County, Tennessee. All persons, resident and non-resident, having claims, matured or unmatured, against the estate are required to file the same with the Clerk of the above-named Court on or before the earlier of the dates prescribed in (1) or (2) otherwise their claims will be forever barred:(1) (A) Four (4)months from the date of the first publication (or posting, as the case may be) of this notice if the creditor received an actual copy of this notice to creditors at least sixty(60)days before date that is four (4) months from the date of the first publication (or posting);or (B) Sixty (60) days from the date the creditor received an actual copy of the notice to creditors, if the creditor received the copy of the notice less than sixty(60)days prior to the date that is four (4) months from the date of the first publication (or posting) as described in (1) (A);or (2) Twelve (12)months from the decedent's date of death. All persons indebted to the above Estate must come forward and make proper settlement with the undersigned at once. Jacqueline J. Primm Executor William S. Fleming Attorney Lary M. Roe, Jr. Clerk & Master July 20, 27 2tp

OUT

ALL THE HELP WANTED ADS IN OUR CLASSIFIED SECTION ON TUESDAYS, THURSDAYS & SUNDAYS

The Daily Herald.

EQUAL HOUSING OPPORTUNITY

All real estate advertising in this newspaper is subject to the Federal Fair Housing Act of 1968 which makes it illegal to advertise "any preference, limitation or discrimination based on race, color, religion, handicap, family status, sex or national origin, or an intention to make any such preference, limitation or discrimination". This newspaper will not knowingly accept any advertising for real estate which is in violation of the law. Our readers are hereby informed that all dwellings advertised in this newspaper are available on an equal opportunity basis.

JOB FAIR!
Wednesday, July 27, 2016 from 9am - noon at the TN Career Center 119 Nashville Highway, Suite 106, Columbia, TN 38401.

Wood Personnel Services in partnership with numerous manufacturing facilities in Maury County, TN has multiple temp to hire opportunities.

- Press Pack Operators, 1st, 2nd and 3rd shift. temp to hire. \$10 and \$10.25/hr.
- Forklift Operators, 1st shift, temp to hire, \$11-13/hr.
- General Assembly Operators, 1st and 2nd shift, temp to hire, \$12-13/hr.
- Production Operators, All shifts, temp to hire, \$10/hr.

Successful candidates will have previous work experience preferably in a distribution or manufacturing environment!

For immediate consideration please e-mail your resume or explanation of your work history to akurtz@wpscared.com or call 615-376-1117.

WPS
WOOD PERSONNEL SERVICES

Wanted To Buy

SPORTS CARDS Collections buying and selling. Bill, (931)381-4192.

Farmers Market

Pets and Livestock

Dogs

AUSTRALIAN SHEPHERD Pups, Black Tris, M/F, had first shots, \$275. (931)446-9610.

Call 388-6464 for all of your Advertising Needs

HOUSES FOR SALE

LOOK YOU CAN BE HERE

Public Transit Drivers Wanted Full and Part time position

The South Central Area Transit Service, a Rural Public Transportation Service, is accepting applications for Full and Part time drivers. The Applicants need to be courteous, outgoing, customer-focused individuals to join our team. Applicants must have a COL A or B with P endorsement and successfully pass a DOT physical, background check and pre-employment drug screen.

Qualifications include an excellent driving record, strong work history and available to work a flexible schedule. The starting hourly rate of pay is \$14.00.

Serious applicants meeting the above criteria may apply by faxing a resume* to 931-379-3026 or by emailing to tfrazier@sctdd.org An application can also be picked up in person M-F 10:00 to 4:00 at SCTDD 101 Sam Watkins Blvd. Mt. Pleasant TN 38474.

The South Central Area Transit Service is an Equal opportunity Employee. The South Central Area Transit Service does not discriminate based on race; color or national origin in federal or state sponsored programs; pursuant to Title VI of the Civil Rights Act of 1964 [42 U.S. C. 2000d]

DURA AUTOMOTIVE SYSTEMS MAINTENANCE TECHNICIANS 2ND and 3rd SHIFT

Dura Automotive Systems, a leader in glass systems, structural door modules and exterior trim systems for the global automotive and mass transit industries is searching for a 2ND and 3rd Shift Maintenance Technician at the Lawrenceburg, TN facility.

Essential Functions include, but are not limited to, the following:

- Preventative/routine maintenance on machinery, equipment, building, etc.
- Machinery troubleshooting and repair.
- PLC programming, troubleshooting, etc.
- General industrial electrician duties.
- General overall maintenance.
- Maintains a hazard free work environment by monitoring machine repairs, reporting unsafe areas or conditions and maintaining a clean work area. Work in a safe manner and follow all safety procedures (Lock out/Tag out, etc.)
- Assists in continuous improvement efforts.
- Standing, stooping, bending, hand dexterity, use of hand, power, air tools, etc. Lifting 50 pounds.
- Work assigned overtime as needed.
- May be assigned other tasks or duties as needed.

Requirements:

- High School Diploma or equivalent. (Additional vocational industrial maintenance training preferred.)
- Five to Seven years of related experience. Additional education may be substituted for experience and vice versa
- Working knowledge of industrial electricity, schematics, hydraulics, pneumatics, and general overall maintenance.
- Computer literacy (MS Office, etc.) preferred.
- Strong interpersonal skills and the ability to work independently and as part of a team

Qualified applicants should send a resume to:
Human Resources Department
Dura Automotive Systems
2200 Helton Drive
Lawrenceburg, TN 38464
Email: parsons.g@duraauto.com
EOE M/F

NOTICE OF PUBLIC HEARING ON PROPOSED FINANCING BY THE HEALTH AND EDUCATIONAL FACILITIES BOARD OF THE COUNTY OF FRANKLIN, TENNESSEE

You are hereby notified that the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee (the "City"), will hold a public hearing at 7:00 p.m. local time, on Monday, August 15, 2016, in the Courtroom of City Hall at 199 Town Center Parkway, Spring Hill, Tennessee 37174, in connection with the proposed plan of financing involving the issuance of not to exceed \$25,400,000 multifamily housing revenue bonds, in one or more series (the "Bonds"), by The Health and Educational Facilities Board of the County of Franklin, Tennessee, the proceeds of such Bonds to be loaned to BTT Development II, L.P., and/or Village Associates, L.P., each a Tennessee limited partnership, to finance the acquisition and rehabilitation of certain existing multifamily housing facilities totaling approximately 447 units located in the following cities and counties in the State of Tennessee: Decherd, Franklin County; Covington, Tipton County; Lexington, Henderson County; Bolivar, Hardeman County; Brownsville, Haywood County; Spring Hill, Maury County; Lawrenceburg, Lawrence County; Savannah, Hardin County; Centerville, Hickman County; Waynesboro, Wayne County; and Stanton, Haywood County.

Proceeds of the Bonds in the amount of not to exceed \$1,900,000 are to be loaned to Village Associates, L.P., a Tennessee limited partnership, to finance the acquisition and rehabilitation of an existing approximately 32 unit multifamily housing facility located at or near 2593 Duplex Road, Spring Hill, Maury County, Tennessee (the "Spring Hill Facilities"). All of the Spring Hill Facilities will be owned by Village Associates, L.P.

A public hearing (pursuant to Section 147(f) of the Internal Revenue Code of 1986, as amended will be held at the above location in connection with the proposed plan of financing involving the issuance of the Bonds and the location and nature of the Spring Hill Facilities to be financed with the proceeds of the Bonds. At such public hearing there will be an opportunity for persons to express their views concerning the foregoing. Anyone may appear in person at such public hearing or submit written comments to be considered thereat.

The proposed Bonds will not constitute an indebtedness or obligation of the City of Spring Hill, Tennessee. Additional information concerning the above may be obtained from, and written comments should be addressed to, Victor Lay, City Administrator, 199 Town Center Parkway, Spring Hill, Tennessee 37174, telephone (931)486-2252.

Board of Mayor and Aldermen of the City of Spring Hill, Tennessee
April Goad, City Recorder

July 27 1tc

ORDINANCE NO. 16-14

AN ORDINANCE LEVYING A PRIVILEGE TAX UPON THE OCCUPANCY IN ANY HOTEL OR MOTEL OR ANY PLACE IN WHICH ROOMS, LODGING OR ACCOMMODATIONS ARE FURNISHED TO TRANSIENTS FOR CONSIDERATION

WHEREAS, Public Chapter 890 amending Tenn. Code Ann. §67-4-1425 authorizes the City of Spring Hill the right to levy by Ordinance a hotel/motel tax with home rule in accordance with the Tennessee Constitution, Article XI, Section 9; and

WHEREAS, the City of Spring Hill deems it to be in the best interest of the City to have such a tax.

NOW, THEREFORE, BE IT HEREBY ORDAINED, by the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee, as follows:

Section 1. Definitions.

As used in this Ordinance:

(1) “Consideration” means the consideration charged, whether or not received, for the occupancy in a hotel valued in money, whether to be received in money, goods, labor or otherwise, including all receipts, cash, credits, property and services of any kind or nature without any deduction therefrom whatsoever;

(2) “Hotel” means any structure or space, or any portion thereof, which is occupied or intended or designed for occupancy by transients for dwelling, lodging or sleeping purposes, and includes any hotel, inn, tourist camp, tourist cabin, motel or any place in which rooms, lodgings or accommodations are furnished to transients for consideration;

(3) “Occupancy” means the use or possession, or the right to the use or possession, of any room, lodgings or accommodations in any hotel;

(4) “Operator” means the person operating the hotel whether as owner, lessee or otherwise;

(5) “Person” means any individual, firm partnership, joint venture, association, social club, fraternal organization, joint stock company, corporation, estate, trust, business trust, receiver, trustee, syndicate or any other group or combination acting as a unit; and

(6) “Transient” means any person who exercises occupancy or is entitled to occupancy of any rooms, lodgings or accommodations in a hotel for a period of less than thirty (30) continuous days.

Section 2. Permit Required. No person will conduct, keep, manage, operate or cause to be conducted kept, managed or operated, either as owner, lessor, agent or attorney, any hotel in the city without having obtained a permit for same from the City Administrator or his designee.

Section 3. Fee. The fee for each hotel permit will be Twenty-Five Dollars (\$25.00).

Section 4. Not Transferable. No permit issued under this ordinance shall be transferred or assigned.

Section 5. Duration. Hotel permits shall be issued annually and shall expire on the last day of December of each year.

Section 6. Register Required; Availability for Inspection. Every person to whom a permit is issued under this Ordinance shall at all times keep a standard hotel register, in which shall be inscribed the names of all guests renting or occupying rooms in his hotel. Such register shall be signed in every case by the person renting a room or by someone under his direction, and after registration is made and the name of the guest is inscribed as herein provided, the manager shall write the number of the room such guest is to occupy, together with the time such room is rented, before such person is permitted to occupy such room. The register shall be open to inspection at all times to the City Administrator or his designee.

Section 7. Rooms to be Numbered. Each sleeping room and apartment in every hotel in the City shall be numbered in a plain and conspicuous manner. The number of each room shall be placed on the outside of the door of such room, and no two (2) doors shall bear the same number.

Section 8. Privilege tax levied; use.

(A) Pursuant to the provisions of Tenn. Code Ann. §67-4-1401, *et seq.* and specifically Tenn. Code Ann. §67-4-1425, as amended by Public Chapter 890, there is hereby levied a privilege of occupancy tax in any hotel of each transient. From and after the operative date of this ordinance the rate of the levy shall be three percent (3%) of the consideration charged by the operator. This privilege tax shall be collected pursuant to and subject to the provisions of state law. The City Administrator or his designee shall be designated the authorized collector to administer and enforce this Ordinance.

(B) The proceeds received from this tax shall be available for the City's general fund and dedicated solely for tourism development within the City of Spring Hill. Proceeds of this tax shall not be used to provide a subsidy in any form to any hotel.

Section 9. Payment of the Tax. Payment of the tax by the hotel to the city shall be no later than the 20th day of each month for the preceding month.

Section 10. Compensation to the Hotel. The hotel may deduct two percent (2%) from the amount paid to the City.

Section 11. Interest and penalty for late payment. The hotel operator is responsible for paying interest on delinquent taxes, from the due date at the rate of twelve percent (12%) per annum, plus a penalty of one percent (1%) for each month or fraction thereof such taxes are delinquent.

Section 12. Records requirement. The hotel operator shall maintain such records as may be necessary to determine the amount of such tax for which the operator may have been liable for the collection of taxes for three (3) years thereafter, with the right of inspection by the City.

Section 13. Ordinances in conflict. All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

Section 14. This Ordinance shall take effect from and after its adoption by two-thirds ($\frac{2}{3}$) vote of the Board of Mayor and Aldermen at two (2) consecutive regularly scheduled meetings, the public welfare requiring it.

PASSED AND ADOPTED BY THE BOARD OF MAYOR AND ALDERMEN OF THE CITY OF SPRING HILL, TENNESSEE, this, the _____ day of _____, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick M. Carter, City Attorney

Passed on First Reading July 18, 2016

Passed on Second Reading (on agenda August 15, 2016)

ORDINANCE NO. 16-15

**AN ORDINANCE TO ADOPT ELECTRONIC CITATION
REGULATIONS AND FEES**

WHEREAS, the City of Spring Hill Police Department is in the process of adopting the use of electronic citations; and

WHEREAS, Tennessee Code Annotated, Section 55-10-207 was amended by Public Chapter 750, authorizing electronic citations to be filed in court, along with a fee to recover costs associated with both written and electronic citations; and

WHEREAS, “electronic citation” is defined as a written citation or an electronic citation prepared by a law enforcement officer on paper or on an electronic data device with the intent the citation shall be filed, electronically or otherwise, with a court having jurisdiction over the alleged offense; and

WHEREAS, pursuant to and in accordance with state statutory requirements found in Tenn. Code Ann. §55-10-207(e), each court clerk shall charge and collect an electronic citation fee of Five Dollars (\$5.00) for each citation which results in a conviction; and

WHEREAS, One Dollar (\$1.00) of said fee collected shall go to the city court and Four Dollars (\$4.00) of said fee collected shall go to the police department for authorized purchases; and

WHEREAS, this Ordinance and its fee requirement shall terminate five (5) years from the date of adoption of this Ordinance and the City’s Code shall be so annotated; and

NOW, THEREFORE, BE IT RESOLVED, that the City of Spring Hill authorizes the collection of Five Dollars (\$5.00) for each e-citation resulting in a conviction, with One Dollar (\$1.00) of said fee collected shall go to the city court and Four Dollars (\$4.00) of said fee collected shall go to the police department for authorized purchases and this Ordinance and its fee requirement shall terminate five (5) years from the date of adoption of this Ordinance and the City’s Code shall be so annotated.

**PASSED AND ADOPTED BY THE BOARD OF MAYOR AND ALDERMEN OF
THE CITY OF SPRING HILL, TENNESSEE, THIS, THE 15th day of August, 2016.**

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick M. Carter, City Attorney

Passed on First Reading July 18, 2016

Passed on Second Reading (on agenda August 15, 2016)

PREVIOUS BUSINESS

Ordinance 16-10

(PUD 81-2015)

Ordinance 16-10, to approve Planned Unit Development for property located at 3357 Denning Lane. (*Deferred by the Planning Commission on June 13, 2016*) Dara Sanders, City Planner
Deferral recommended.



(Ordinance to be submitted after Planning Commission recommendation)

ORDINANCE 16-12

AN ORDINANCE TO AMEND ORDINANCE NO. 86-47, THE SAME BEING THE ZONING ORDINANCE OF THE CITY OF SPRING HILL, BY REZONING PROPERTY BEING TAX MAP 029, PARCEL 001.00 FROM AG, AGRICULTURAL, AND R-2, MEDIUM DENSITY RESIDENTIAL, TO R-2 PLANNED UNIT DEVELOPMENT

WHEREAS, the City of Spring Hill Zoning Ordinance, the same being Ordinance No. 86-47, and the zoning maps therein adopted, should be amended by rezoning the property herein described as Maury County Tax Map 029, Parcel 001.00 from AG, Agricultural, and R-2, Medium Density Residential, to R-2 Planned Unit Development; and

WHEREAS, said property to be rezoned is located within the corporate limits of the City of Spring Hill; and

WHEREAS, this Ordinance was recommended by the Spring Hill Municipal Planning Commission on July 11, 2016, with notice of said hearing being given fifteen (15) days or more before said approval; and

WHEREAS, all Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY OF SPRING HILL, TENNESSEE, BOARD OF MAYOR AND ALDERMEN, that the Zoning Ordinance 86-47 and the zoning maps therein adopted be, and the same are hereby amended by rezoning the property herein-described as Maury County Tax Map 029, Parcel 001.00 from AG, Agricultural, and R-2, Medium Density Residential, to R-2 Planned Unit Development, which amendment shall take effect from and after its adoption, the public welfare requiring it, subject to the following conditions:

1. In addition to the street improvements internal to the project boundary, Beechcroft Road and Cleburne Road shall be improved in accordance with the recommendations of the traffic impact study as follows –

A. Intersection of Beechcroft Road and Cleburne Road – to be completed by 20% buildout

- 1) A westbound left turn lane with 100 feet of storage on Beechcroft Road.
- 2) An eastbound right turn lane with 125 feet of storage on Beechcroft Road.
- 3) A northbound left turn lane with 100 feet of storage on Cleburne Road
- 4) A northbound right turn lane with 250 of storage on Cleburne Road.

Each of these turn lanes should be 11 feet wide and should be designed and constructed according to AASHTO standards. Also, both of the northbound turn lanes should intersect Beechcroft Road at a 90 degree angle and be controlled by a stop sign.

B. Intersection of Beechcroft Road and Cleburne Road – to be completed by 70% buildout

A traffic signal should be installed at the intersection of Beechcroft Road and Cleburne Road. This traffic signal should be designed and constructed to include a protected-plus-permitted signal phase for westbound motorists and a right turn overlap signal phase for northbound motorists.

C. Intersection of Beechcroft Road and the Project Access –

- 1) A westbound left turn lane with 100 feet of storage on Beechcroft Road.
- 2) An eastbound right turn lane with 125 feet of storage on Beechcroft Road.
- 3) A northbound left turn lane with 50 feet of storage on the project access.
- 4) A northbound right turn lane with 100 of storage on the project access.

Each of these turn lanes should be 11 feet wide and should be designed and constructed according to AASHTO standards.

D. Intersection of Cleburne Road and the Northern Project Access

- 1) A northbound left turn lane with 75 feet of storage on Cleburne Road.
- 2) A southbound right turn lane with 125 feet of storage on Cleburne Road.
- 3) An eastbound left turn lane with 100 feet of storage on the project access.
- 4) An eastbound right turn lane with 50 of storage on the project access.

Each of these turn lanes should be 11 feet wide and should be designed and constructed according to AASHTO standards.

E. Intersection of Cleburne Road and the Southern Project Access

- 1) A southbound right turn lane with 125 feet of storage on Cleburne Road.
- 2) An eastbound left turn lane with 100 feet of storage on the project access.
- 3) An eastbound right turn lane with 50 of storage on the project access.

Each of these turn lanes should be 11 feet wide and should be designed and constructed according to AASHTO standards.

F. Off-site improvements to Beechcroft Road, in accordance with the traffic impact study, shall be evaluated at 50% buildout of the project.

G. Off-site improvements to Cleburne Road, in accordance with the traffic impact study, shall be evaluated at 50% buildout of the project.

2. All requirements outlined in the “pattern book” shall apply. Zoning and subdivision regulation relief not specifically identified in the pattern book shall require BOMA approval.
3. All properties within the project shall be access by the lower street classification or by alley, where applicable
4. All trails shall be constructed at the time of infrastructure installation required for each phase. Trails shall be constructed to the standards outlined in the City’s Bicycle and Greenway Plan. Unless dedicated to the City, all trails shall be located within a public access easement and shall be maintained by the HOA.
5. In accordance with the City’s Provisions Governing Planned Unit Development, all open space shall be maintained by the HOA.
6. The applicant shall be required to submit detailed landscape plans for all required landscape buffer areas.
7. All required landscape buffer area shall be planted to the minimum standards of the City’s zoning ordinance, shall be irrigated, and shall be maintained by the HOA.
8. Pursuant to Section 2 of the Provisions Governing Planned Unit Developments, the setbacks for Lots 852-871, 898-905, 908, 909, and 930-948 shall adhere to those of the adjacent R-1 zoning district.
9. Approval of this preliminary development plan shall remain valid for a period of three (3) years, during which time a final development plan shall be submitted for Planning Commission review and approval.
10. Modification to the approved preliminary development plan may require Planning Commission and/or Board of Mayor and Aldermen approval prior to the submittal of a final development

BE IT FURTHER ORDAINED, that all Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

Passed on First Reading:

Passed on Second Reading:

ORDINANCE 16-12

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WHEREAS, said property to be rezoned is located within the corporate limits of the City of Spring Hill; and

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WHEREAS, all Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY OF SPRING HILL, TENNESSEE, BOARD OF MAYOR AND ALDERMEN, that the Zoning Ordinance 86-47 and the zoning maps therein adopted be, and the same are hereby amended by rezoning the property herein-described as Maury County Tax Map 029, Parcel 001.00 from AG, Agricultural, and R-2, Medium Density Residential, to R-2 Planned Unit Development, which amendment shall take effect from and after its adoption, the public welfare requiring it, subject to the following conditions:

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6. The applicant shall be required to submit detailed landscape plans for all required landscape buffer areas.
7. All required landscape buffer area shall be planted to the minimum standards of the City’s zoning ordinance, shall be irrigated, and shall be maintained by the HOA.
8. Pursuant to Section 2 of the Provisions Governing Planned Unit Developments, the setbacks for Lots 852-871, 898-905, 908, 909, and 930-948 shall adhere to those of the adjacent R-1 zoning district.
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BE IT FURTHER ORDAINED, that all Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

Passed on First Reading: July 18, 2016

Passed on Second Reading: (on agenda August 15, 2016)

SUBJECT: ORD 16-12 (The Villages at Harvest Point)

DATE: July 18, 2016

ATTENTION: Board of Mayor and Aldermen (BOMA)

DEPARTMENT HEAD: Dara Sanders, Planning Director



STAFF MEMORANDUM

Property description and history: This undeveloped property is located southwest of the intersection of Beechcroft Road and Cleburne Road with frontage onto both streets. The surrounding properties include Spring Hill Middle School, undeveloped industrially zoned property, and primarily low- to medium-density residential.

Carters Creek and Walden Branch traverse along the western boundary and center of the property, respectively. As indicated in the "Pattern Book" submitted by the applicant, there are significantly steep slopes throughout the property, and there is an existing cemetery at the eastern portion of the property.

Request: The applicant requests rezoning approval for a Planned Unit Development to include 961 single-family residential lots, 232 multi-family dwelling units, live/work units, and associated open space and amenities.

Modifications to the request: Several elements of the proposed Planned Unit development have changed since last presented to the BOMA in response to citizen concerns expressed at various public meetings and in accordance with the City's provisions for planned unit developments:

- The proposed single-family homes in the northern portion of the project boundary have been changed to larger lots with greater building setbacks in order to increase compatibility with the existing neighborhoods (Jamestown and Williamsburg).
- An exhibit has been submitted to show the proposed street improvements and the State street improvements in the vicinity to better communicate the various efforts to improve the overall street network in the area.
- Additional information has been submitted to identify the specific the nonresidential uses that would be permitted in the "live-work village".
- An updated preliminary development plan has been provided indicating the boundaries of the live-work village.
- Parking information related to off-site and on-street parking that would meet the parking requirements for all nonresidential uses. The impact of this information is that on-site parking in the live-work village is not required for nonresidential uses. *The applicant is not requesting relief from the number of parking spaces required, only for the location in which they are required.*
- Bulk, area, and height requirements for the live-work village.

On July 11th, the Planning Commission forwarded the request to the BOMA with a recommendation for approval subject to conditions with the following findings:

- The proposed property could be developed for a similar number of dwelling units under the current zoning designations of AG and R-2, though staff has not evaluated the impact of the cemetery, stream and associated buffer, or the floodplain that encumbers the property.
- The application of a Planned Unit Development (PUD) for this property benefits the property owner in mitigating the impact of these encumbrances and promotes a mixture of housing types to create neighborhood that meets the needs of all stages of life. The PUD also benefits the Planning Commission and Board of Mayor and Aldermen

City of Spring Hill, Tenn.

greater flexibility to negotiate features that will increase compatibility with the surrounding area and amenities above those required by the base zoning, such as trails, preservation of natural and sensitive features of the lane, and other community amenities.

- This project embodies the majority of the key recommendations and considerations of Spring Hill Rising 2040 and is consistent with the City’s planning policies and principles. It represents a quality traditional neighborhood design, will offer quality housing options in an area of job and industry growth, will result in needed improvements to streets in the surrounding area, and will work toward achieving a complete and connected transportation network in a currently disconnected area.
- The future land use designation of the property is “Mixed Use Neighborhood Area”, which are primarily residential but include low to moderate intensity balanced mixture of retail and office uses based on traditional, compact small town form, offering Spring Hill the ability to live, shop, work, and play in their own neighborhood. These areas offer a mixture of housing types and residential densities ranging from small lot single-family detached dwellings to urban residential structures within walking distance of the goods and services required for daily living.
- The City’s Goal “We will grow smarter” aims at promoting Smart Growth Principles and tradition neighborhood design that promotes walkability, connectivity, housing choice, public open space, and local opportunities for goods and services throughout our City.

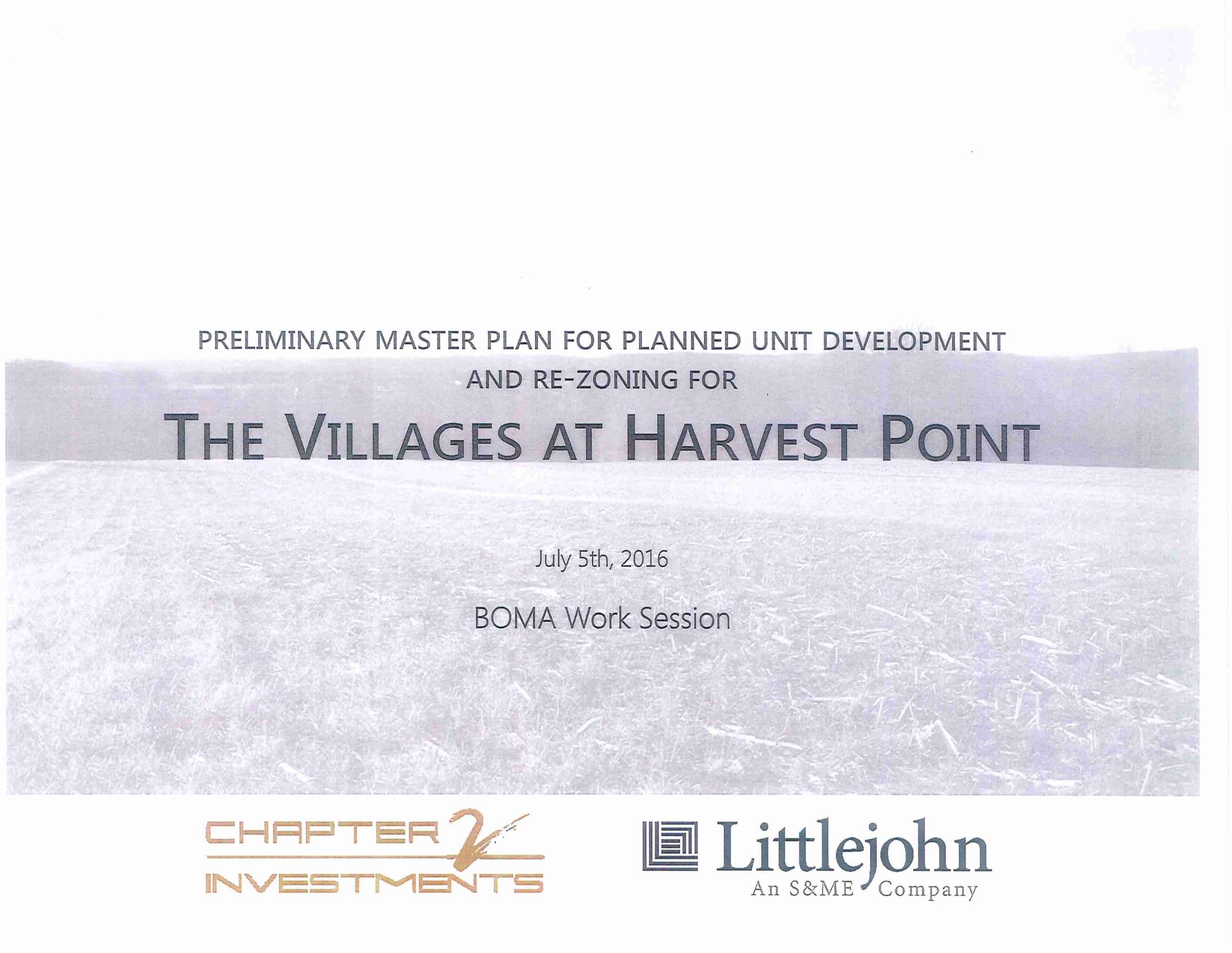
With the current and anticipated future rapid job growth in the surrounding area, the Planning Commission finds that neighborhood development in this area would work to achieve traditional neighborhood design close to local job and economic growth.

- The City’s Goal “We will create a balanced transportation network” aims to achieve efficient, multi-modal transportation options that increase mobility and access to jobs and services, reduce travel times and congestion, and are fiscally sustainable.

Based on the proposal, the Planning Commission finds that the project will result in needed improvements to existing streets in the surrounding area and will work toward achieving a complete and connected transportation network in a currently disconnected area.

- The City’s Goal “We will promote a variety of quality housing options” aims at making it possible for all who work in the community to live in the community. This goal recommends promoting housing diversity in new development areas by planning for a variety of housing types, styles, and price points as development occurs in greenfield areas.

The Planning Commission finds that the proposal works directly in concert with this goal. The proposal is to create a new neighborhood, not just a new development, that will provide a needed diversity of homes for our growing community so that current families and new families can choose to live in a place that meets their specific needs.

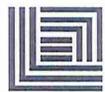


PRELIMINARY MASTER PLAN FOR PLANNED UNIT DEVELOPMENT
AND RE-ZONING FOR
THE VILLAGES AT HARVEST POINT

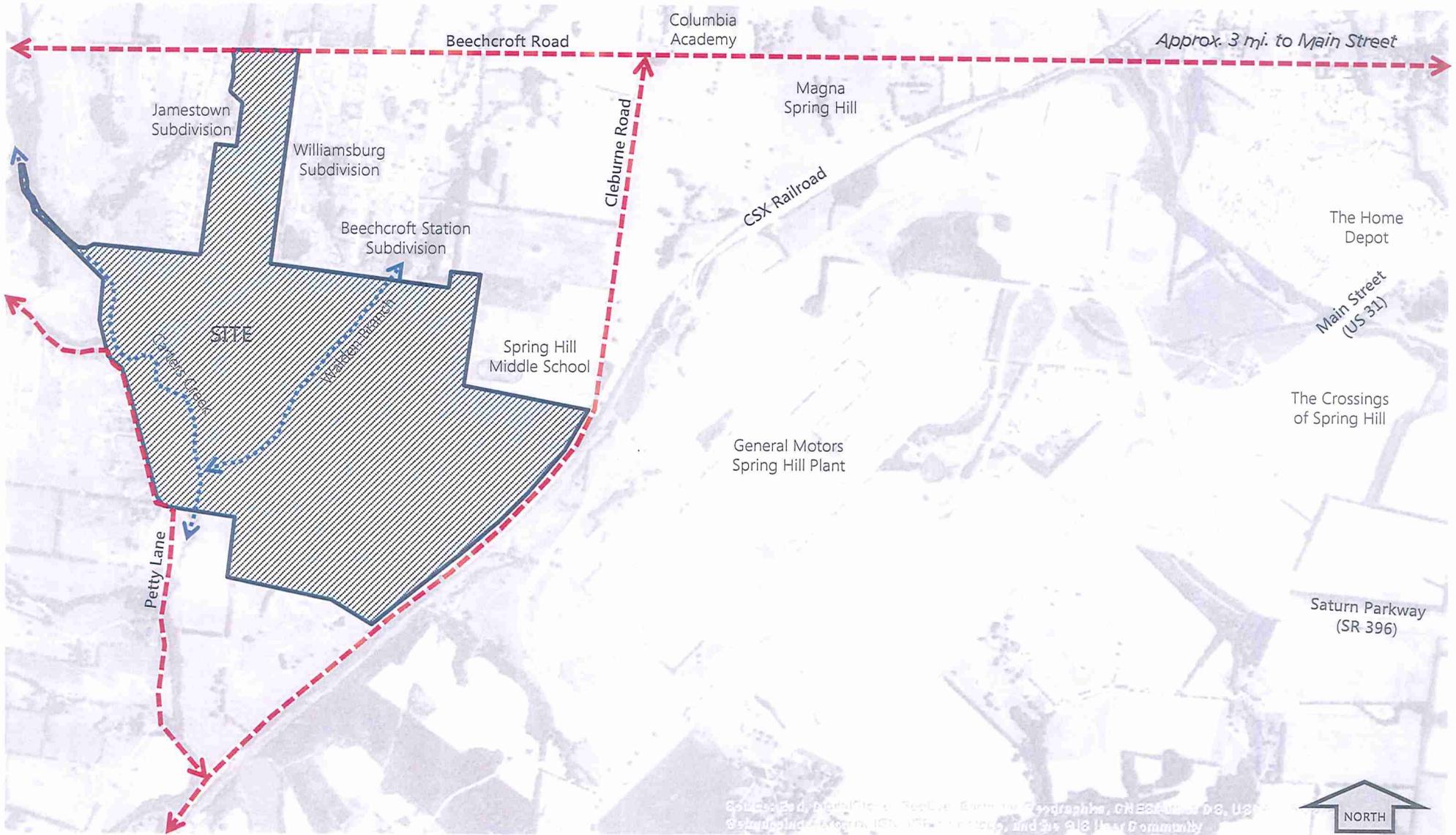
July 5th, 2016

BOMA Work Session

CHAPTER *2*
INVESTMENTS

 **Littlejohn**
An S&ME Company

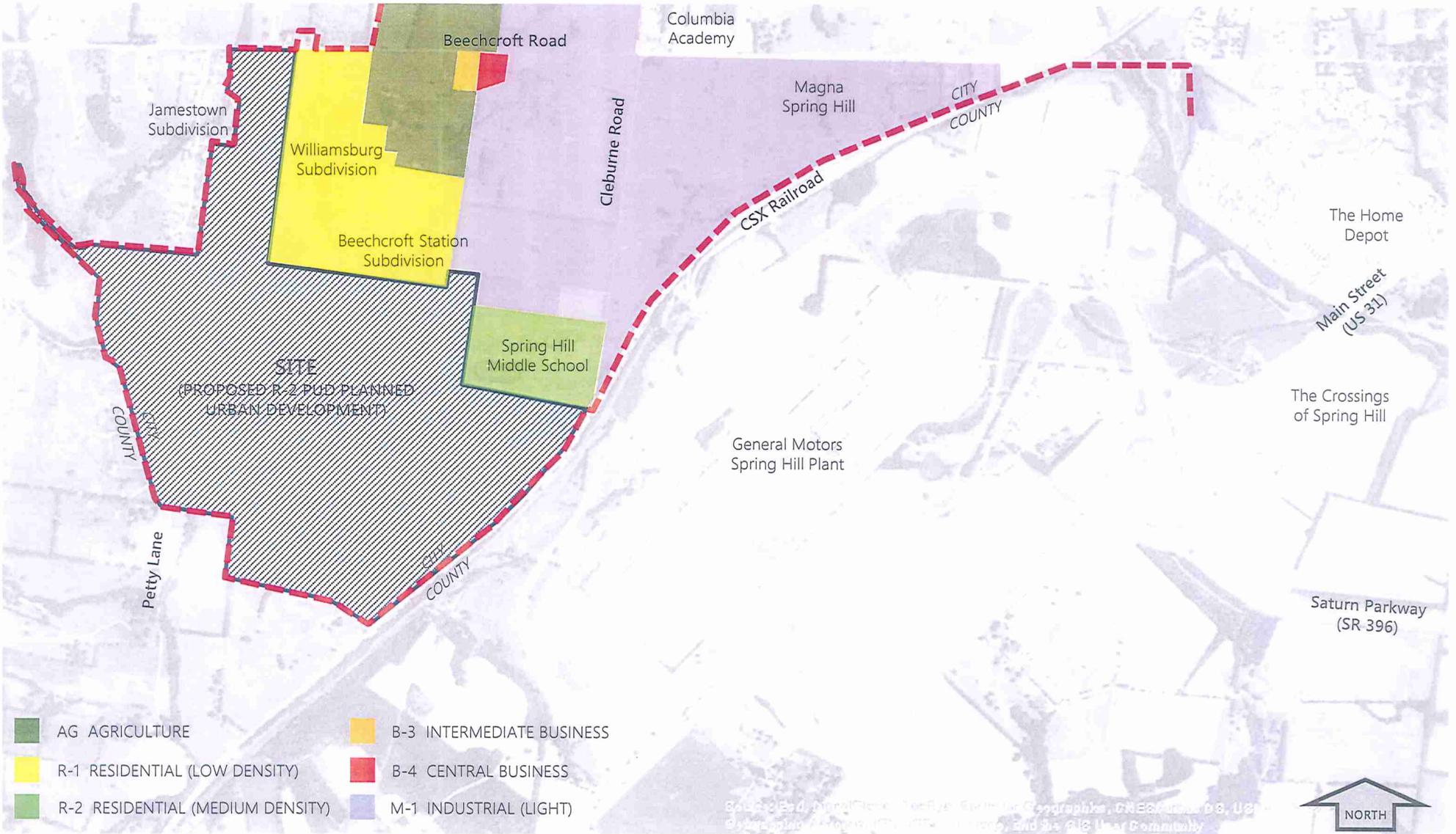
REGIONAL MAP



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, AeroGRID, IGN, SITA, Imagery, and the GIS User Community

THE VILLAGES AT HARVEST POINT

REGIONAL MAP - ZONING

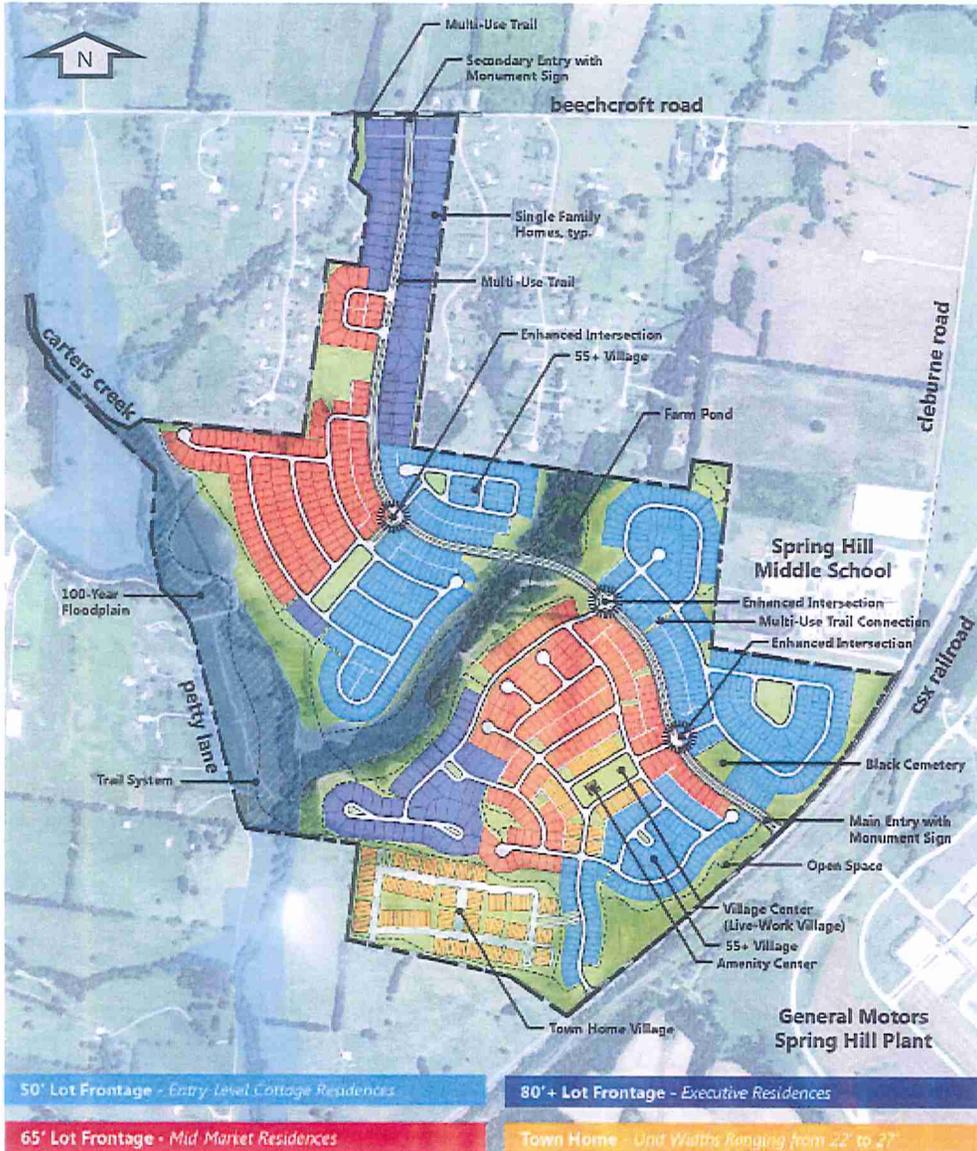


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, AeroGRID, IGN, SITA, Imagery, and the GIS User Community



THE VILLAGES AT HARVEST POINT

MASTER PLAN



SITE DEVELOPMENT DATA

- **LIVE-WORK VILLAGE:**
 - 25,000 SF (GROUND FLOOR - RETAIL/OFFICE)
 - ALLOWABLE USES:
 - ATM
 - PERSONAL CARE SERVICES
 - BUSINESS SERVICE
 - PERSONAL INSTRUCTION
 - COMMUNITY EDUCATION
 - RESTAURANT
 - GENERAL OFFICE
 - RETAIL
 - LEASING/SALES OFFICE
 - MEDICAL OFFICE (UNDER 5,000 SF SUITES)
- **SINGLE FAMILY RESIDENTIAL:**
 - PROPOSED ACREAGE.....208.14 AC
 - 50' (AVG.) LOT FRONTAGE.....544 LOTS
 - 65' (AVG.) LOT FRONTAGE.....318 LOTS
 - 80' (AVG.) LOT FRONTAGE.....102 LOTS
- **MULTI FAMILY/TOWN HOME RESIDENTIAL:**
 - PROPOSED ACREAGE.....15.96 AC
 - PROPOSED LOTS.....234 LOTS
- **OPEN SPACE:**
 - PROPOSED ACREAGE (TOTAL).....171.90 AC (36.3%)
 - STEEP SLOPES.....27.0 AC
 - STORMWATER.....13.3 AC
 - FLOODPLAIN/FLOODWAY.....52.7 AC
- **SITE TOTALS:**
 - SINGLE FAMILY RESIDENTIAL.....964 LOTS
 - MULTI FAMILY/TOWN HOME RESIDENTIAL.....234 LOTS
 - OVERALL DENSITY.....3.78 DU/AC

LIVE WORK VILLAGE



LEGEND

- WALKWAY
- FLOODWAY
- 100 YR FLOODPLAIN
- LOT NUMBER (CIRCLE/FANGL)
- LOT NUMBER (OPEN SPACE)
- TOWNHOME GROUP NUMBER
- EASEMENT/CONVEYANCE
- PROPOSED WALKING TRAILS
- PROPOSED ROADWAY RIGHT-OF-WAY
- EXISTING TOP OF STREAM BANK
- PROPOSED STORM DRAINAGE EASEMENT

- NOTES**
- ON-STREET PARALLEL PARKING SPACES TO BE CALLED TOWARD REQUIRED PARKING FOR LIVE-WORK DEVELOPMENT.
 - IN LIVE-WORK DEVELOPMENT, PARKING SHALL BE LOCATED ON BOTH SIDES OF THE STREET TO MEET DEMANDS OF NON-RESIDENTIAL TRAFFIC.
 - TOWNHOMES SHALL BE A MINIMUM OF 10' FROM THE STREET. TOWNHOMES SHALL BE 12.5' FROM THE STREET. HANDICAPPED PARKING SPACES SHALL BE PROVIDED IN THE LIVE-WORK DEVELOPMENT SHALL BE 20' X 5.5'.
 - ALL LIVE-WORK DEVELOPMENT SHALL BE SUBJECT TO THE CITY OF SPRING HILL ZONING ORDINANCE.
 - HEIGHT RESTRICTIONS SHALL BE SIMILAR TO THOSE LISTED BY THE CITY OF SPRING HILL ZONING ORDINANCE WITH THE ADDITION OF THE FOLLOWING:
 - BUSINESS SERVICE
 - RECEPTION, BAR SERVICES AND ETC.
 - COMPLIANCE EDUCATION
 - HOSPITAL OFFICE
 - ARCHITECTURAL ENGINEERING, BUSINESS AND ETC.
 - FRANCHISE OFFICE
 - KNOWLEDGE CENTER
 - PERSONAL CARE SERVICES
 - SALES, SERVICE CENTER, MESSAGE FORWARDING, COUNSELING AND ETC.
 - PERSONAL INSTRUCTION
 - YOGA, WEIGHTLIFT STUDIO, MUSICIANS STUDIO AND ETC.
 - RESTAURANT
 - FAST CASUAL, FULL SERVICE AND TAKE-OUT (NO DRIVE-THRU PERMITTED)
 - RETAIL
 - ALL ON-STREET PARKING FOR THE LIVE-WORK DEVELOPMENT SHALL HAVE A MINIMUM 10' WIDE LANDSCAPE SCREEN BUFFER.
 - AMENITY CENTER IS SHOWN FOR REFERENCE ONLY. EXACT SIZE, LOCATION AND DESIGN SHALL BE DETERMINED AND APPROVED AT A LATER DATE.
 - CONFORMANCE OF ALL LIVE-WORK DEVELOPMENT WITH THE SPRING HILL ZONING ORDINANCE SHALL BE VERIFIED AND APPROVED VIA THE HOMEOWNERS ASSOCIATION (HOA).
 - ON-STREET PARKING SHALL BE USED TO COUPLER TOWARD THE PARKING INSTEAD OF FOR NON-RESIDENTIAL TRAFFIC.
 - NO ON-SITE PARKING SHALL BE REQUIRED FOR THE NON-RESIDENTIAL USES WITHIN THE LIVE-WORK AREA.
 - RESTAURANTS WITHIN THE LIVE-WORK AREA SHALL BE ALLOWED TO SERVE ALCOHOLIC BEVERAGES IF THE APPROPRIATE LICENSES ARE OBTAINED.
 - THE MAXIMUM HEIGHT FOR BUILDINGS SHALL BE 30 FEET IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOA REGULATIONS.

PARKING PROVIDED
(LIVE-WORK DEVELOPMENT)

TYPE	STALLS
ON-STREET	97 STALLS
ON-STREET PARKING LOT (A)	15 STALLS
ON-STREET PARKING LOT (B)	19 STALLS
TOTAL	131 STALLS



Littlejohn
An S&ME Company

CHAPTER 2
INVESTMENTS, LLC
4414 PETERSON BLVD.
HARVEST POINT
63131-0437

**THE VILLAGES AT
HARVEST POINT**
SPRING HILL, TENNESSEE

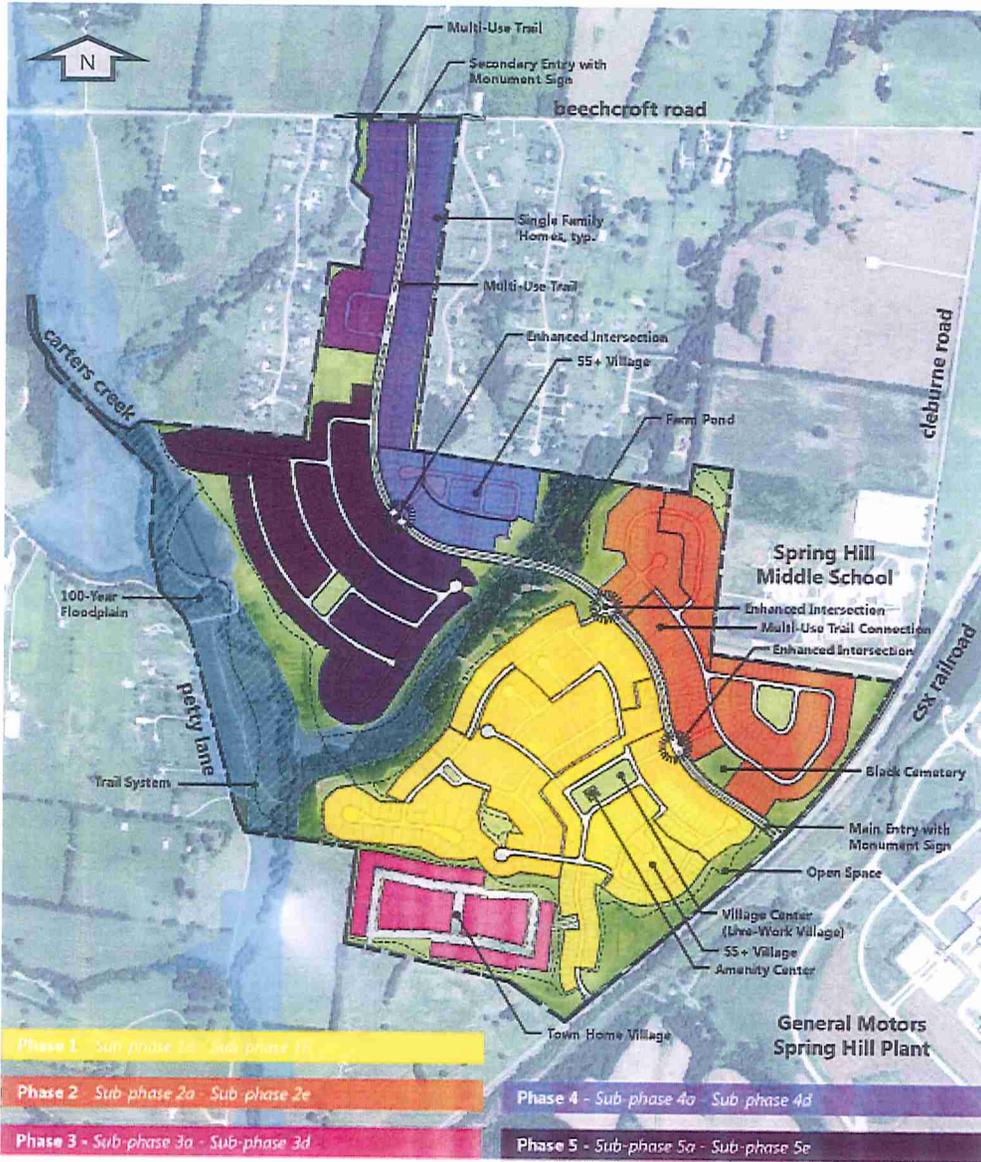


NO.	DATE	DESCRIPTION	BY	CHK	APP
1		REVISION			
2		CITY COMMENTS			
3		CITY COMMENTS			

PROJECT NUMBER
20151207
DRAWING NUMBER
C2.3
DRAWING NAME
DETAILED SITE LAYOUT
(LIVE-WORK DEVELOPMENT)

THE VILLAGES AT HARVEST POINT

PHASING



DEVELOPMENT PHASING

- **PHASE I:**
 - SINGLE FAMILY RESIDENTIAL.....318 LOTS
 - MULTI FAMILY/TOWN HOME RESIDENTIAL.....62 LOTS
 - LIVE-WORK.....25,000 SF

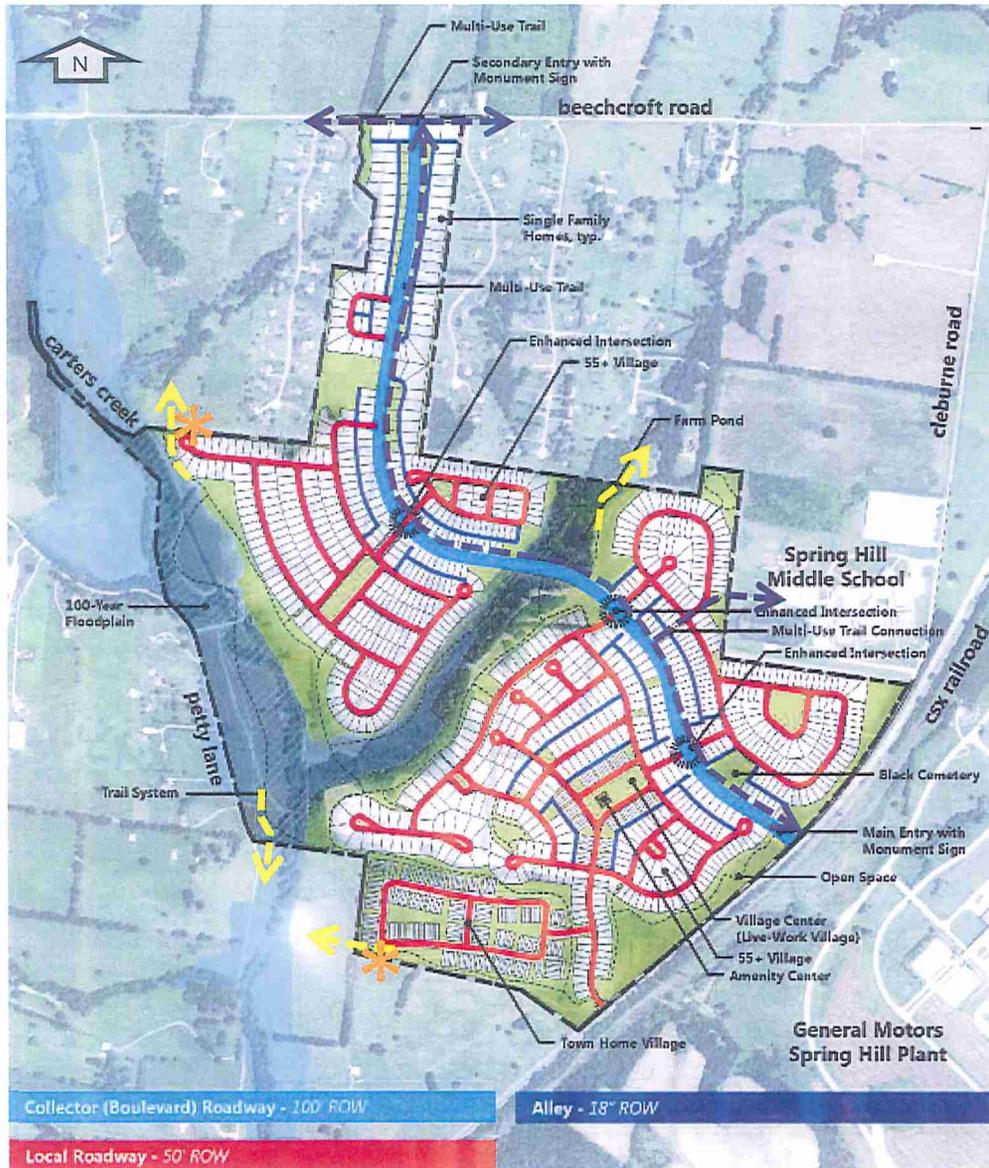
- **PHASE 2:**
 - SINGLE FAMILY RESIDENTIAL.....239 LOTS
 - MULTI FAMILY/TOWN HOME RESIDENTIAL.....0 LOTS
 - COMMERCIAL/RETAIL.....0 SF

- **PHASE 3:**
 - SINGLE FAMILY RESIDENTIAL.....0 LOTS
 - MULTI FAMILY/TOWN HOME RESIDENTIAL.....172 LOTS
 - COMMERCIAL/RETAIL.....0 SF

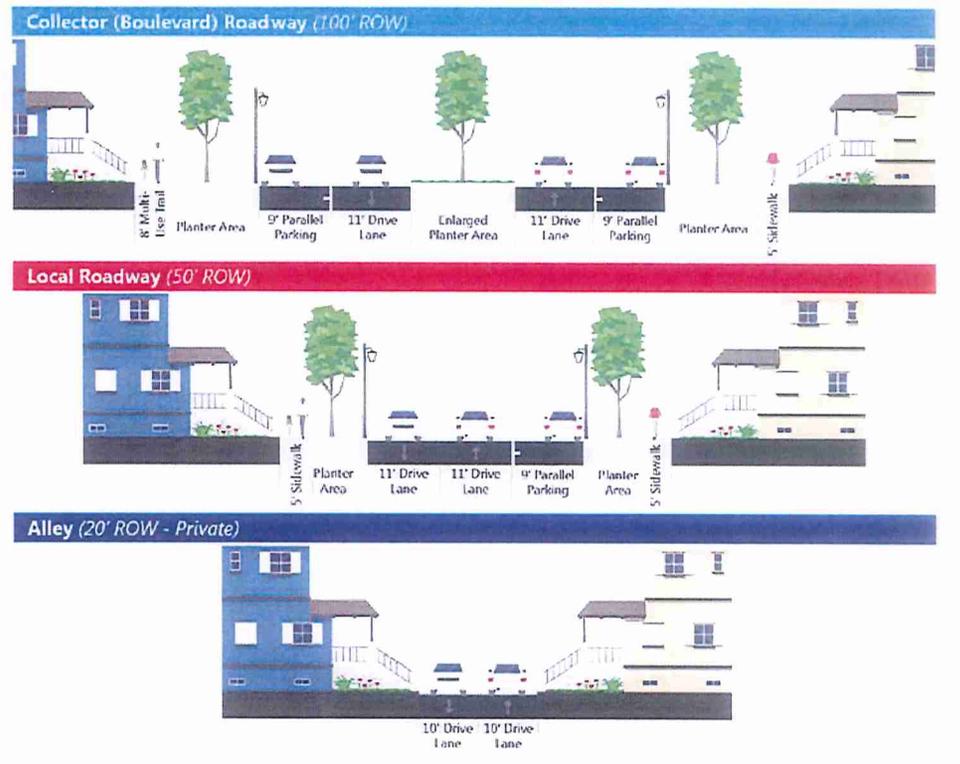
- **PHASE 4:**
 - SINGLE FAMILY RESIDENTIAL.....148 LOTS
 - MULTI FAMILY/TOWN HOME RESIDENTIAL.....0 LOTS
 - COMMERCIAL/RETAIL.....0 SF

- **PHASE 5:**
 - SINGLE FAMILY RESIDENTIAL.....259 LOTS
 - MULTI FAMILY/TOWN HOME RESIDENTIAL.....0 LOTS
 - COMMERCIAL/RETAIL.....0 SF

TRANSPORTATION INFRASTRUCTURE

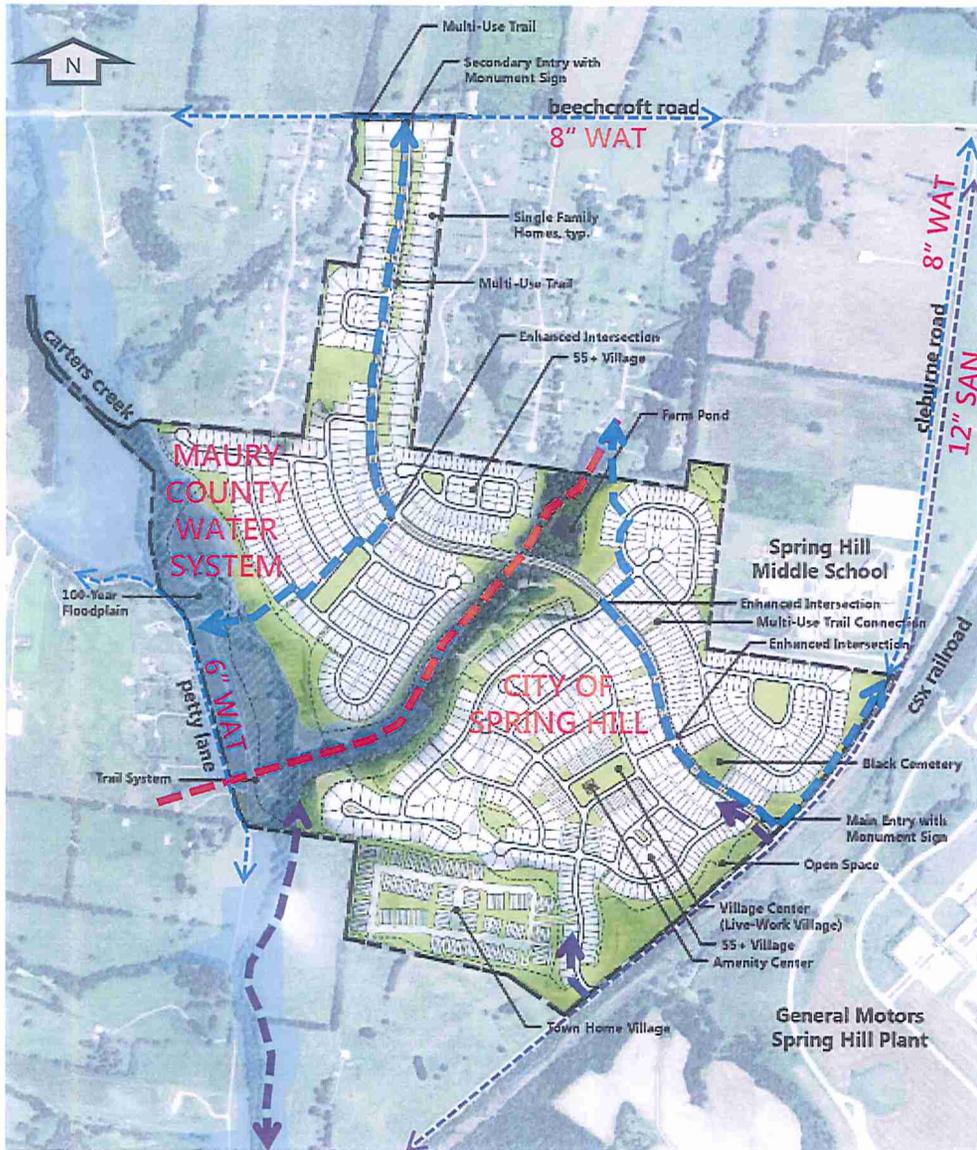


- ROADS:
 - ENLARGED PLANTING MEDIAN (COLLECTOR)
 - PROVIDE PARALLEL PARKING (COLLECTOR/LOCAL) & BIKE LANES (COLLECTOR)
- WALKING TRAILS (+/- 4.5 MILES):
 - CONNECTION TO OPEN SPACES/NATURAL AREAS
 - FUTURE OFFSITE CONNECTIONS TO UNDEVELOPED LAND
- MULTI-USE TRAIL (+/- 1.5 MILES):
 - CONNECTION TO SPRING HILL MIDDLE SCHOOL



THE VILLAGES AT HARVEST POINT

UTILITY INFRASTRUCTURE



WATER SERVICE:

- DEVELOPMENT EAST OF WALDEN BRANCH SERVICED BY CITY OF SPRING HILL
 - EXISTING SERVICE OFF OF CLEBURNE ROAD
- DEVELOPMENT WEST OF WALDEN BRANCH SERVICED BY MAURY COUNTY WATER SYSTEM
 - EXISTING SERVICE OFF OF BEECHCROFT ROAD
- BOTH SYSTEMS WILL CREATE REDUNDANT LOOPS IN SYSTEM(S)

SANITARY SERVICE:

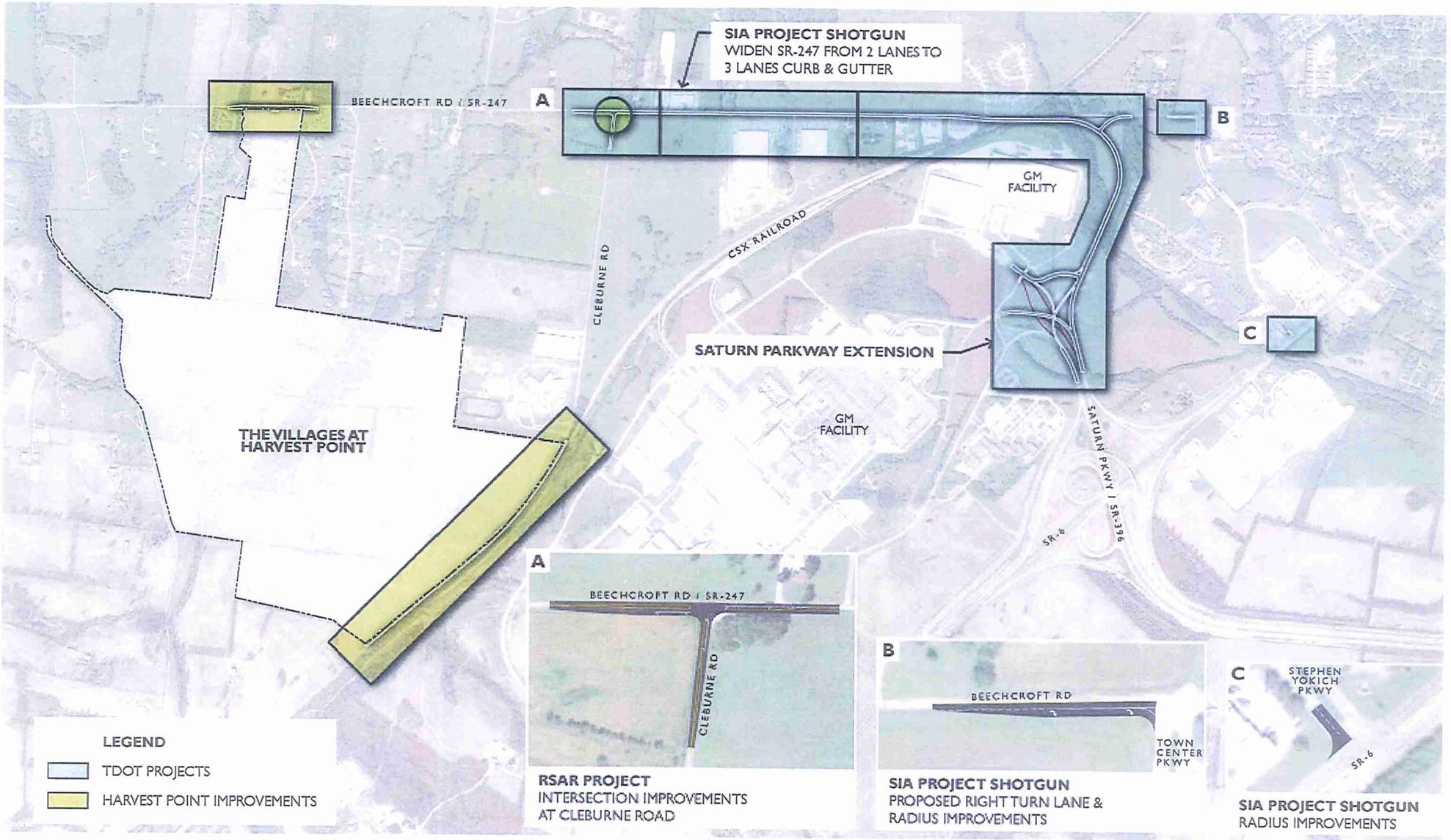
- PORTIONS OF PHASE 1 & 2 CAN BE GRAVITY FED TO THE PUMP STATION ON CORNER OF CLEBURNE ROAD AND PETTY LANE
- REMAINING DEVELOPMENT WILL REQUIRE OFFSITE SEWER CONNECTION (APPROX. 3/4 MI) TO CLEBURNE ROAD/PETTY LANE PUMP STATION

STORMWATER:

- TREATED VIA VARIOUS ONSITE STORMWATER DETENTION BASINS

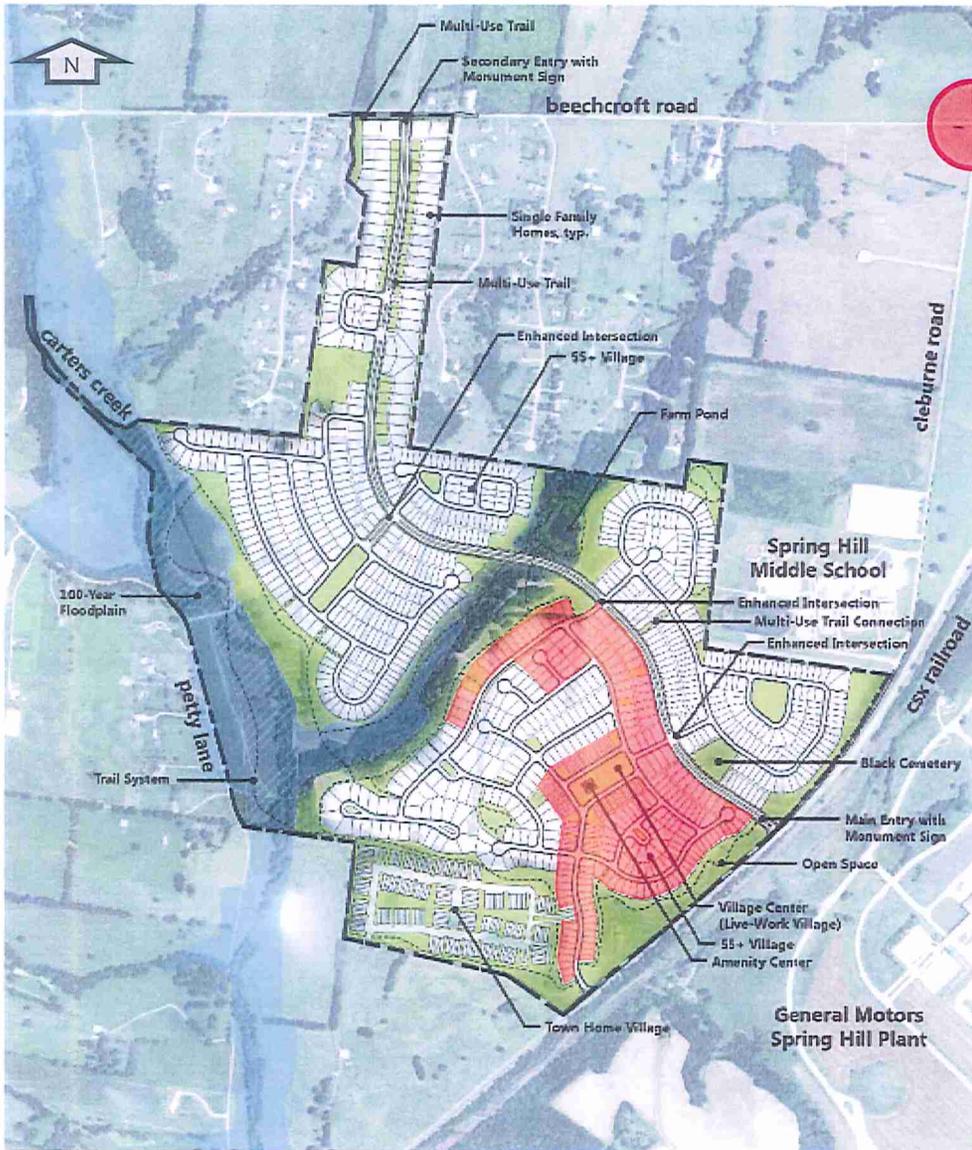
THE VILLAGES AT HARVEST POINT

REGIONAL TRANSPORTATION PROJECTS



THE VILLAGES AT HARVEST POINT

ROADWAY IMPROVEMENTS PHASING

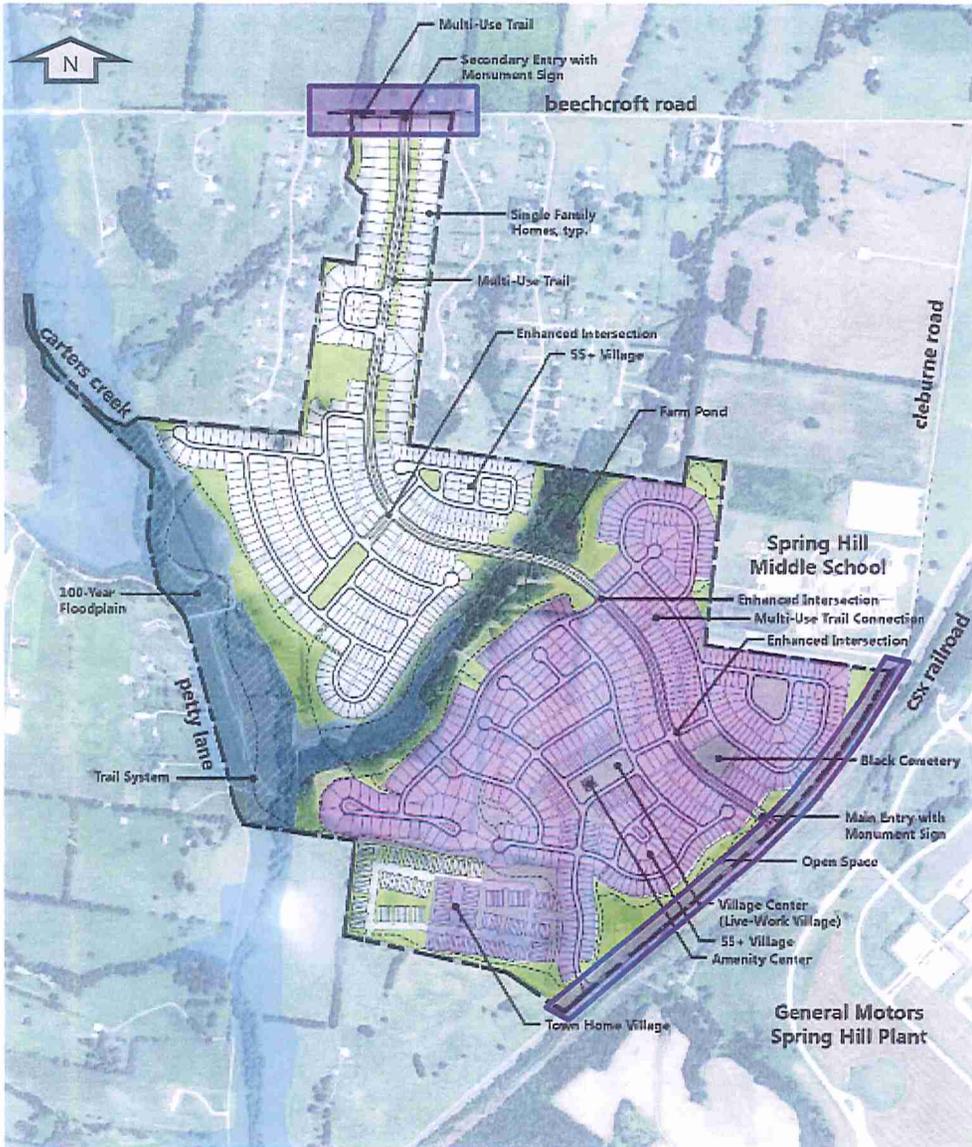


PHASING SCHEDULE:

TRAFFIC IMPACT STUDY RESULTS

- PHASE I (+/- 240 HOMES) - AT 20% PROJECT BUILD-OUT, THE INTERSECTION OF BEECHCROFT ROAD AND CLEBURNE ROAD SHALL BE IMPROVED WITH THE FOLLOWING:
 - WESTBOUND LEFT TURN LANE WITH 100' OF STORAGE (BEECHCROFT ROAD)
 - EASTBOUND RIGHT TURN LANE WITH 125' OF STORAGE (BEECHCROFT ROAD)
 - NORTHBOUND LEFT TURN LANE WITH 100' OF STORAGE (CLEBURNE ROAD)
 - NORTHBOUND RIGHT TURN LANE WITH 250' OF STORAGE (CLEBURNE ROAD)

ROADWAY IMPROVEMENTS PHASING



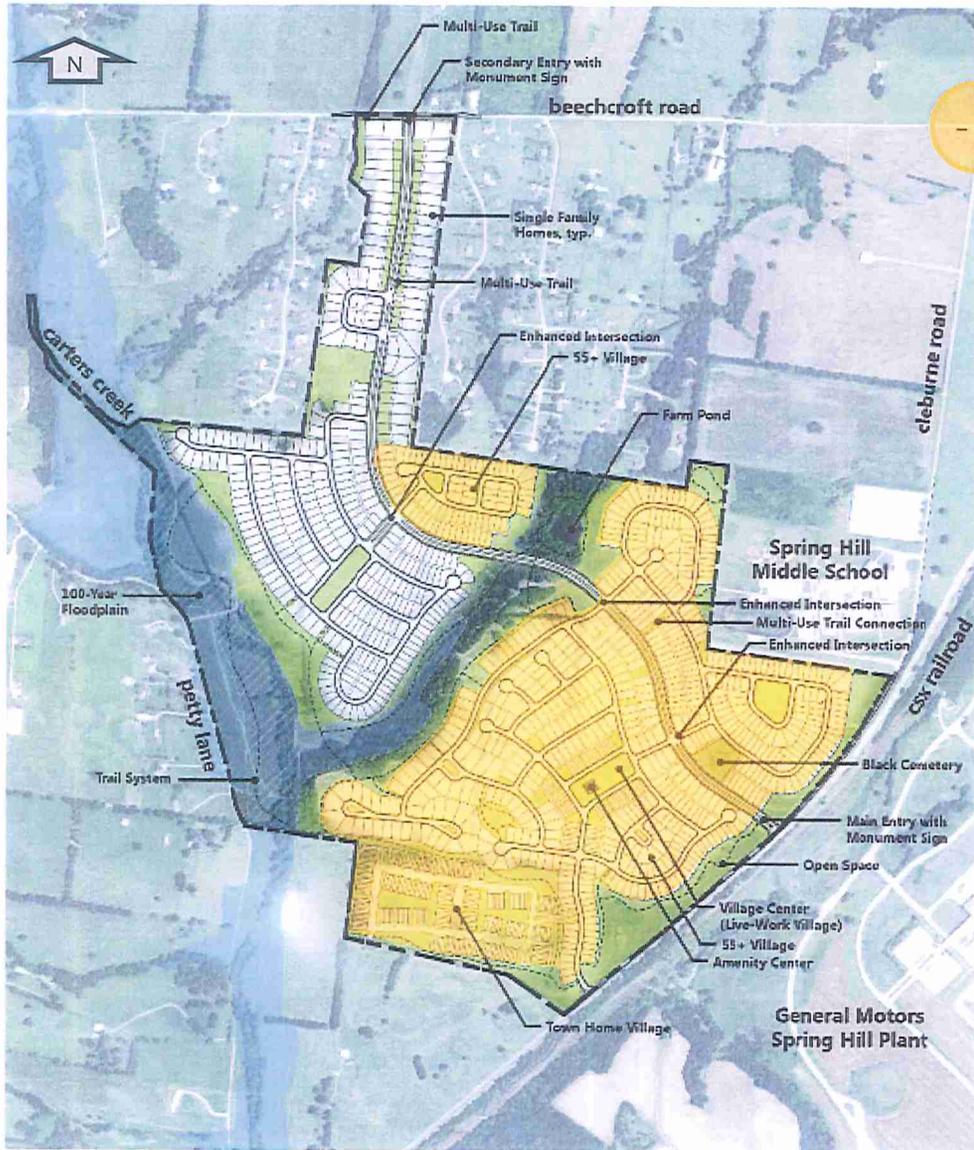
PHASING SCHEDULE:

- TRAFFIC IMPACT STUDY RESULTS
 - PHASE II (+/-600 HOMES) - AT 50% PROJECT BUILD-OUT, BEECHCROFT ROAD AND CLEBURNE ROAD SHALL BE IMPROVED ACROSS THE FRONTAGE OF THE PROPERTY WITH THE FOLLOWING:
 - (2) 11-FOOT DRIVE LANES
 - 4-FOOT GRAVEL SHOULDERS

- NOTE
 - WITH REGARD TO ADDITIONAL OFF-SITE WIDENING IMPROVEMENTS TO CLEBURNE ROAD AND BEECHCROFT ROAD RECOMMENDED BY THE TRAFFIC IMPACT STUDY FOR HARVEST POINT, IT IS REQUESTED THAT THESE ADDITIONAL IMPROVEMENTS BE RE-EVALUATED AT THE 50% BUILD-OUT LEVEL IN ORDER TO ACCOUNT FOR AN EQUITABLE DISTRIBUTION OF AREA-WIDE ROADWAY IMPROVEMENTS AMONGST OTHER PROPERTIES DEVELOPING WITHIN THIS AREA. IN CONJUNCTION WITH CITY STAFF'S RECOMMENDATIONS, IT IS THE OVERALL INTENT THAT PROPERTIES IMPROVE THEIR ROADWAY FRONTAGE ON THESE STREETS AS THEY DEVELOP. SHOULD OTHER PROPERTIES DEVELOP PRIOR TO HARVEST POINT REACHING THEIR 50% BUILD-OUT LEVEL, THEN THESE DEVELOPMENTS SHALL BE RESPONSIBLE FOR THEIR RESPECTIVE PORTION OF THE WIDENING AND SIGNALIZATION IMPROVEMENTS.

THE VILLAGES AT HARVEST POINT

ROADWAY IMPROVEMENTS PHASING



PHASING SCHEDULE:

TRAFFIC IMPACT STUDY RESULTS

- PHASE III (+/- 840 HOMES) - AT 70% PROJECT BUILD-OUT, THE INTERSECTION OF BEECHCROFT ROAD AND CLEBURNE ROAD SHALL BE IMPROVED WITH THE FOLLOWING:
 - INSTALLATION OF A TRAFFIC SIGNAL
 - A PROTECTED-PLUS-PERMITTED SIGNAGE PHASE FOR WESTBOUND MOTORISTS
 - A RIGHT TURN OVERLAP SIGNAL PHASE FOR NORTHBOUND MOTORISTS

COMMUNITY VISUAL STANDARDS – SINGLE FAMILY RESIDENTIAL

50' COTTAGE RESIDENCES



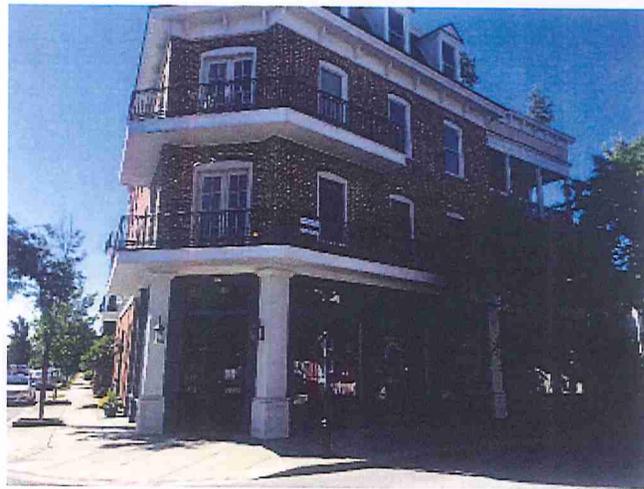
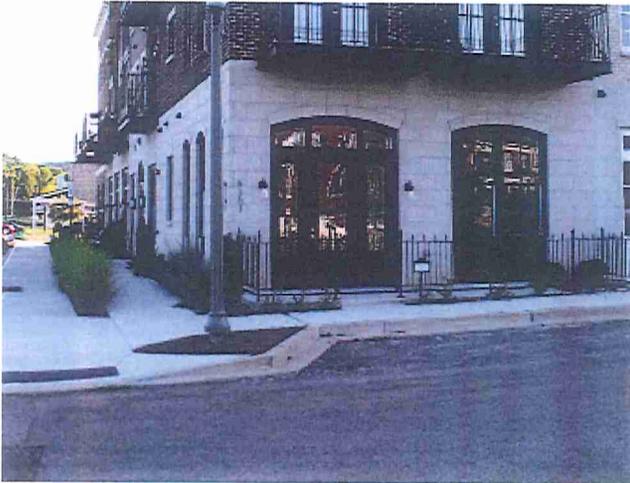
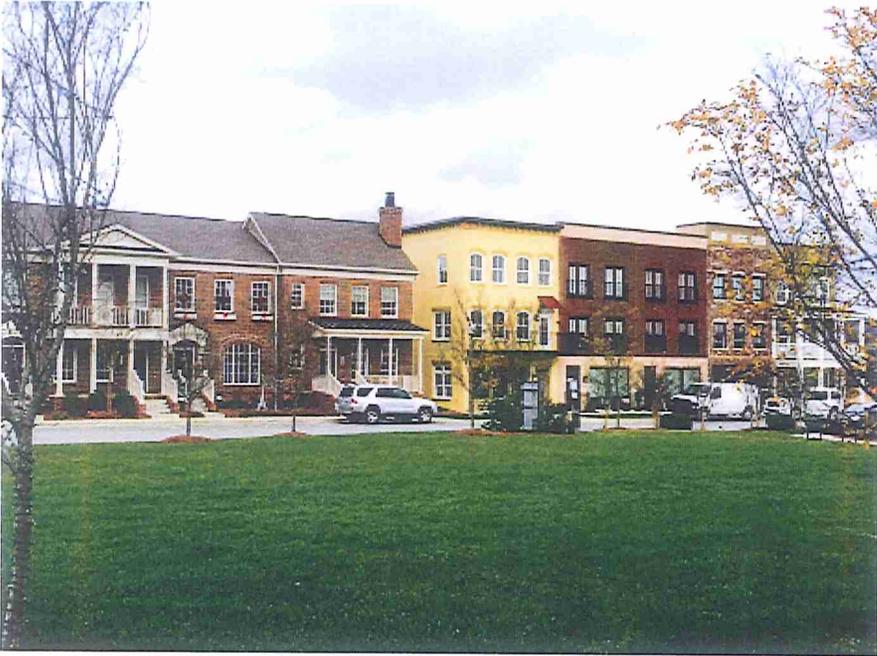
65' COTTAGE RESIDENCES



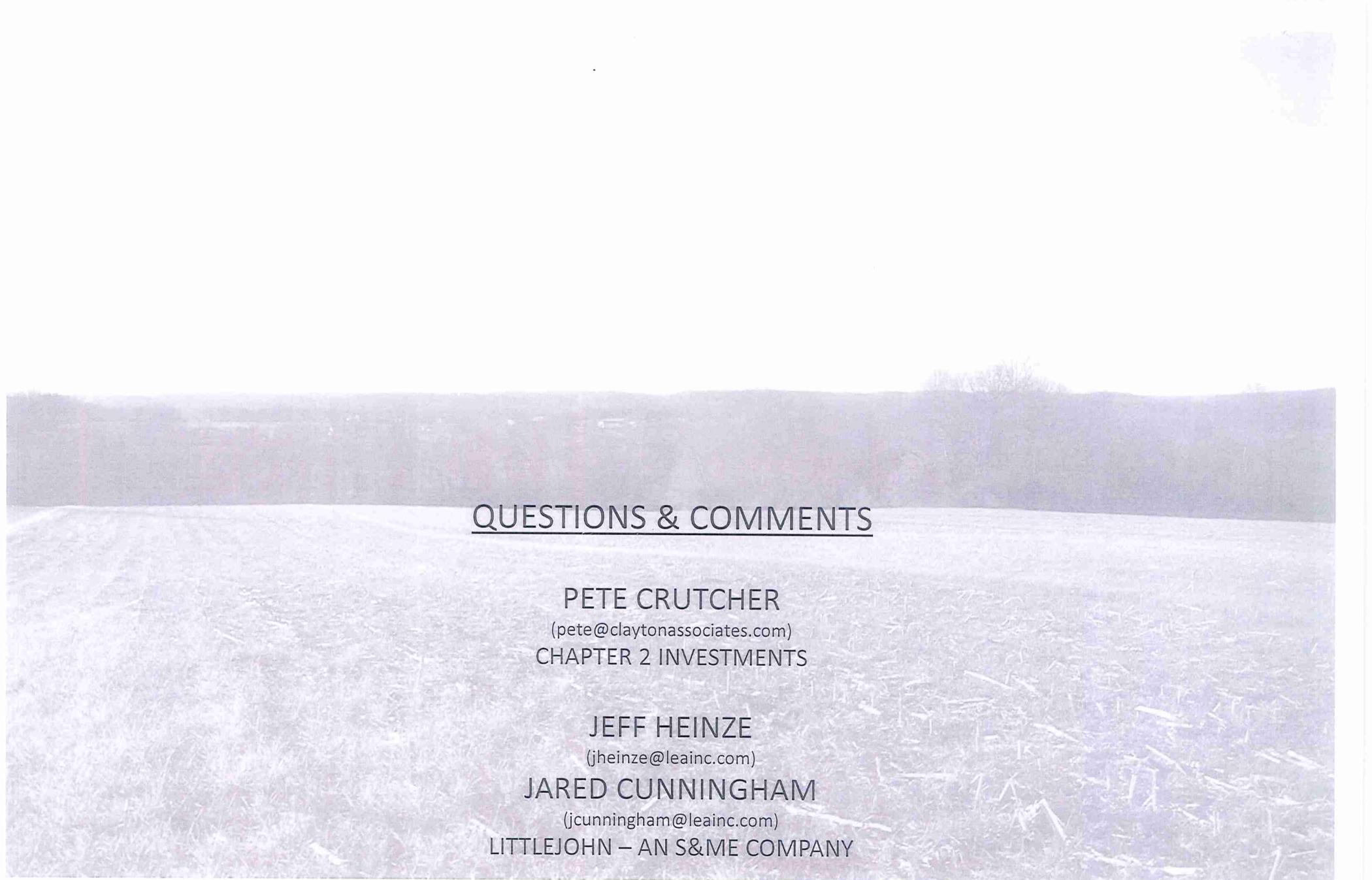
80'+ EXECUTIVE RESIDENCES



COMMUNITY VISUAL STANDARDS – LIVE WORK



THE VILLAGES AT HARVEST POINT



QUESTIONS & COMMENTS

PETE CRUTCHER

(pete@claytonassociates.com)

CHAPTER 2 INVESTMENTS

JEFF HEINZE

(jheinze@leainc.com)

JARED CUNNINGHAM

(jcunningham@leainc.com)

LITTLEJOHN – AN S&ME COMPANY



NEW BUSINESS

RESOLUTION 16-119

A RESOLUTION ACCEPTING THE DEDICATION OF 32.89 ACRES, BEING PART OF MAURY COUNTY TAX MAP 043 PARCEL 013.00, FOR THE EXPANSION OF PORT ROYAL PARK

WHEREAS, the City of Spring Hill promotes the highest quality of life for its stakeholders; and

WHEREAS, the City of Spring Hill Board of Mayor and Aldermen have prioritized investment and expansion of the City's park system; and

WHEREAS, the Spring Hill Parks, Recreation, and Greenways Plan (2011) establishes a framework for the expansion of the City's park system; and

WHEREAS, Port Royal Park has achieved key recommendations identified in the Parks, Recreation, and Greenways Plan and demonstrates the continuous implementation of the plan; and

WHEREAS, Shaw Homebuilders proposes to dedicate 32.89 acres of property encumbered by floodplain and floodway associated with the development of the Cove at Spring Hill subdivision to the north of Port Royal Park; and

WHEREAS, the Board of Mayor and Aldermen deems it in the best interest of the City of Spring Hill to accept the dedication of 32.89 acres for the purpose of expanding Port Royal Park.

NOW, THEREFORE BE IT RESOLVED, by the City of Spring Hill Board of Mayor and Aldermen accept the dedication of 32.89 acres of land being part of Maury County Tax Map 043 Parcel 013.00 and as shown in attached Exhibit A subject to the following conditions:

- 1. Development and use of the land shall be at the discretion of the City of Spring Hill.*
- 2. Lighting of the property shall not include sports and stadium lighting. Any lighting installed on the property shall be full cutoff fixtures pointed downward.*
- 3. Stormwater management facilities for private development shall not be permitted within the land to be dedicated.*
- 4. The City agrees that this dedication is in-lieu of adequate facility tax payments for the development of 94 single-family residences.*
- 5. The City will allow the developer to construct, bond, or make a cash in-lieu of payment for road improvements required by the development.*
- 6. By dedicating the property to the City, the developer is not responsible for construction of any greenways or bicycle paths that would otherwise be required.*
- 7. The developer is allowed to construct sidewalk on only one side of the new streets through the development.*

Passed and adopted this 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

April Goad

From: Dara Sanders
Sent: Thursday, July 28, 2016 9:36 AM
To: April Goad
Cc: Rick Graham; Victor Lay
Subject: FW: Tom Lunn Land Dedication Proposal

April, please add Mr. Shaw's request on the BOMA work session agenda. The request is two-fold:

1. Request for a waiver of Spring Hill Adequate Facilities Taxes
2. Proposal for 32 acres of park land dedication

Following past practice, this should be described as a discussion item on their agenda. I will provide all related correspondence and supplementary information this afternoon.

Thanks!

From: Dara Sanders
Sent: Thursday, July 28, 2016 9:27 AM
To: 'Randall Shaw' <rrshaw11@aol.com>
Cc: Rick Graham <rgraham@springhilltn.org>; Victor Lay <vlay@springhilltn.org>; johnrosshil@gmail.com; deb@shawhomebuilders.com; 'Patrick Carter' <pcarter@tgwlawfirm.com>
Subject: RE: Tom Lunn Land Dedication Proposal

Mr. Shaw,

Thank you for your email. A few thoughts and comments on your request:

1. The Board of Mayor and Aldermen has the authority to consider and act upon your request for a waiver of Spring Hill Adequate Facilities Taxes and accept dedication of land. While your request has been submitted only one day before our deadline, staff can add this request to the August 1st BOMA work session agenda, though a vote will not occur until after the Planning Commission's voting meeting. At this point, the staff cannot coordinate the consideration of this request prior to the Planning Commission's voting meeting. I ask that in the future staff be provided with a minimum of five working days to prepare items for the BOMA's work session agenda.
2. The fee in-lieu of street improvements is a Planning Commission condition of approval for the neighborhood concept plan submitted for this project, agreed upon during meetings with staff and the Planning Commission. The deadline for an appeal of this condition of approval to the BOMA has expired, and you must request from the Planning Commission a modification to this condition and present justification for your request to be relieved entirely of the City's subdivision regulations related to street improvements and the zoning ordinance requirements for safe and orderly development/access.
3. In order for the BOMA to consider the proposal for park land dedication, I ask that you provide the proposed "reasonable use restrictions", as these restrictions will likely impact their decision. Also, please clarify #4 below. Are you proposing a detention/retention area for this subdivision within the park land proposed to be dedicated? Please be prepared to discuss these in detail at the BOMA meeting on August 1st.

As you may recall, your proposal for dedication of the 32 acres of floodway and floodplain was presented to the staff and Planning Commission with the intent to obtain relief from the City's sidewalk and trail requirements. As a result, the park land dedication OR construction of trail facilities were a requirement of the neighborhood concept plan and continue to be a requirement for the preliminary plat application. I will look into the Planning Commission's requirement related to the timing of dedication so that all parties are protected in accordance with city and state regulations.

In closing, please keep in mind that the submittal of a different plan will, at a minimum, require a major modification to the neighborhood concept plan. Depending on the scope of the changes to the subdivision, a new neighborhood concept plan could be required, which would reset the vesting period, and the plan would be required to meet all regulations enforced at that time.

Please let me know if you have any questions or concerns about this information.

Best regards,

Dara Sanders
Planning Director

From: Randall Shaw [<mailto:rrshaw11@aol.com>]

Sent: Wednesday, July 27, 2016 1:15 PM

To: Dara Sanders <dsanders@springhilltn.org>

Cc: Rick Graham <rgraham@springhilltn.org>; Victor Lay <vlay@springhilltn.org>; johnrosshil@gmail.com;
deb@shawhomebuilders.com

Subject: Tom Lunn Land Dedication Proposal

Dara,

After weeks of consideration, here is my proposal for dedication of approximately 32 acres on Tom Lunn Rd. to the City of Spring Hill. It is as follows:

- 1) Waiver of Spring Hill Adequate Facilities Tax for all 94 lots in The Cove @ Spring Hill.
- 2) Waiver of Cash In Lieu of Pavement for Tom Lunn resurfacing.
- 3) Mutually agreed upon reasonable use restrictions to protect the integrity of the 94 lot project.
- 4) All future utility easements and detention/retention areas in proposed dedicated area to remain.

The property in this dedication cost me over \$700,000. This expense far outweighs the waiver of items requested above. I feel this proposal is fair for both sides. We see the long term community benefit of enhancement of this potential park area.

The Planning Commission is requiring, as a condition of Preliminary Plat approval, that dedication of this property be completed PRIOR to approval of Preliminary Plat. Our contract on this property has a contingency that Preliminary Plat Approval must be successfully obtained PRIOR to closing. My lender is also requiring this. The actual timing of transfer must happen AFTER closing on entire project acreage.

I am requesting that a Memorandum of Understanding, given the details above, be drafted and would replace their current condition of approval. In the event that this cannot be worked out in a timely manner, I will be forced to resubmit an altered plat and put the proposed dedication property up for sale. All things considered, I fail to see where Preliminary Plat Approval should have anything to do with land dedication.

Time is of the essence. It appears to me that the Planning Commission has the ability to amend their condition of approval. I would appreciate guidance on how to resolve this as quickly as possible.

Please contact @ 931-398-0300 or email if I can be of assistance. Thank You, in advance for your consideration.

SUBJECT: The Cove/Tom Lunn Road Park Land Dedication

DATE: August 1, 2016

ATTENTION: Board of Mayor and Aldermen (BOMA)

DEPARTMENT HEAD: Dara Sanders, Planning Director



STAF

F

MEMORANDUM

Property description: This property is located near the intersection of Tom Lunn Road and Port Royal Road, north of Port Royal Park. In June of 2016, the Planning Commission approved a neighborhood concept plan for the property, subject to conditions of approval. Two conditions of approval related to sidewalk construction and street design, required in accordance with the City’s subdivision regulations, were appealed to the Board of Mayor and Aldermen (BOMA) in July of 2016. These Planning Commission conditions were overturned by the BOMA to allow for sidewalk on one side of the new streets and to allow for 22 feet of pavement and extruded curb.

Also, among the Planning Commission’s conditions of approval was the requirement to either dedicate park land or construct trail facilities in accordance with the Bicycle and Greenway Plan adopted by the Board of Mayor and Aldermen in 2015. The proposal for park land dedication was presented by the developer for the purpose of obtaining waiver from the City’s sidewalk (on both sides of the street) and trail requirements.

Request: The developer has now submitted a preliminary plat application and, in accordance with the requirements of the neighborhood concept plan, requests BOMA consideration of park land dedication in the amount of 32 acres contiguous to Port Royal Park. These 32 acres are encumbered entirely by floodway and floodplain.

Discussion: The developer’s dedication proposal also includes several conditions, as outlined in the attached email –

- 1) Waiver of Spring Hill Adequate Facilities Tax for all 94 lots in The Cove @ Spring Hill.

The Planning Department has requested from the Codes Department an estimated of the amount requested to be waived.

- 2) Waiver of Cash In Lieu of Pavement for Tom Lunn resurfacing.

The fee in-lieu of street improvements is a Planning Commission condition of approval for the neighborhood concept plan submitted for this project, agreed upon by the developer during meetings with staff and the Planning Commission. The deadline for an appeal of this condition of approval to the BOMA has expired, and the developer must request from the Planning Commission a modification to this condition and present justification for the request to be relieved entirely of the City’s subdivision regulations related to street improvements and the zoning ordinance requirements for safe and orderly development/access.

- 3) Mutually agreed upon reasonable use restrictions to protect the integrity of the 94 lot project.

Staff has requested that the applicant provide the proposed “reasonable use restrictions” for BOMA consideration.

- 4) All future utility easements and detention/retention areas in proposed dedicated area to remain.

City of Spring Hill, Tenn.

199 Town Center Parkway | Spring Hill, TN 37174 | (931) 486-2252

Staff has requested that the developer clarify this statement, as it suggests that detention/retention areas for private development are planned to be located within proposed City-owned property.

SITE DATA

PROPERTY INFORMATION
 STREET ADDRESS: 4355 TOM LUNN ROAD
 TAX MAP: 43
 PARCEL: 13
 SITE SIZE: 91.20 AC. (3,972,736 S.F.)
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL
 EXISTING IMPERVIOUS AREA: 0.20% (7,860 S.F. / 3,972,736 S.F.)

ZONING INFORMATION
 ZONING CLASSIFICATION: R-2
 MIN. LOT AREA: 10,000 S.F.
 MIN. FRONT YARD: 30 FT
 MIN. SIDE YARD: 10 FT
 MIN. REAR YARD: 25 FT
 MIN. LOT WIDTH: 80 FT

OWNER/DEVELOPER
 SHAW ENTERPRISES, LLC
 RANDALL SHAW
 P.O. BOX 8081
 COLUMBIA, TN 38402
 (931) 381-3881
 RRSRAW11@AOL.COM

LANDSCAPE ARCHITECT
 RAGAN SMITH ASSOCIATES
 BRETT SMITH, R.L.A., AICP
 315 WOODLAND STREET
 NASHVILLE, TN 37206
 (615) 244-8591
 BSMITH@RAGANSMITH.COM

PROPOSED DEVELOPMENT
 NUMBER OF LOTS: 94
 LOT AREA: 17,100 S.F. (95' x 180') (TYP.)
 DENSITY: 1.03 DU/AC (94 LOTS / 91.20 AC.)
 OPEN SPACE: 42.70% (1,696,528 S.F. / 3,972,736 S.F.)

FLOOD INFORMATION
 FEMA MAP #: 47119C0185E
 EFFECTIVE DATE: APRIL 16, 2007

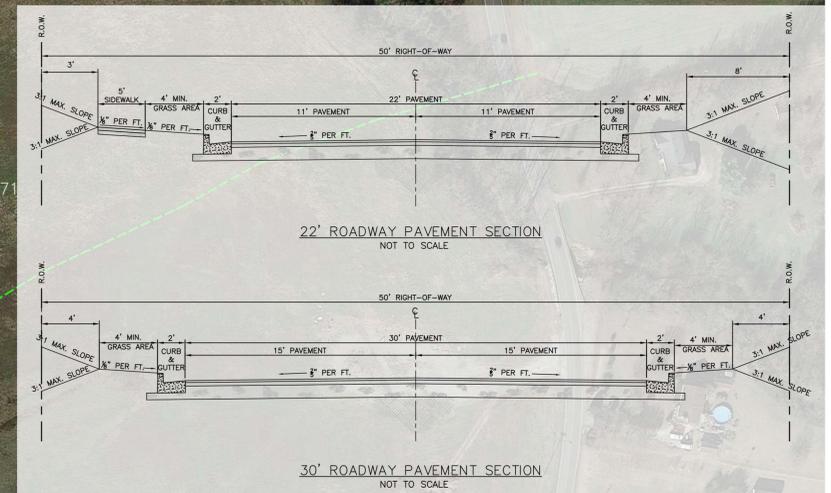
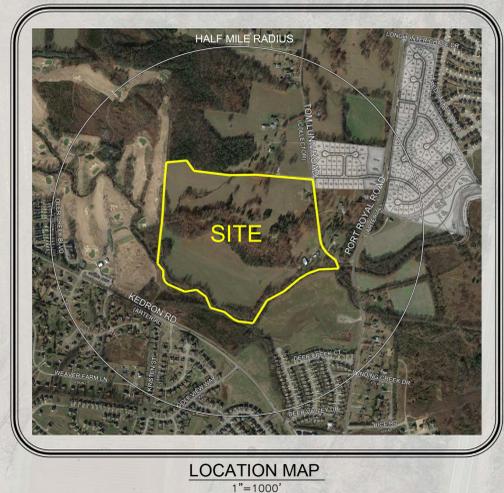
NOTE:

- ALL TREES SHOWN ON THIS PLAN ARE THOSE TREES 18" OR GREATER TO BE RETAINED. TREE SURVEY PROVIDED BY WES ENGINEERS & SURVEYORS, MAY 4, 2016.
- A 20' PUBLIC ACCESS EASEMENT ADJACENT TO RUTHERFORD CREEK WILL BE PROVIDED ALONG THE TOP OF BANK.
- SIDEWALKS WILL ONLY BE PROVIDED ALONG ONE SIDE OF THE INTERNAL STREETS.

SLOPE ANALYSIS

- 20%-25%
- +25%

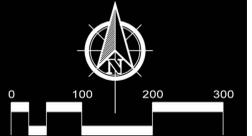
Exhibit A



RAGAN SMITH
 LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 315 WOODLAND ST. P.O. BOX 60070
 NASHVILLE, TN 37206 PH (615) 244-8591
 FAX (615) 244-8739 WWW.RAGANSMITH.COM
 JOB NO: 16-040
 DATE: 06-06-2016

The Cove at Spring Hill

Maury County, Spring Hill, Tennessee



RESOLUTION 16-105

A RESOLUTION TO MODIFY THE PLANNING COMMISSION DECISION AND ASSOCIATED CONDITIONS OF APPROVAL FOR NCP 190-2016

WHEREAS, the applicant submitted a neighborhood concept plan for Planning Commission consideration in accordance with Article IV of the Zoning Ordinance; and

WHEREAS, the Planning Commission is required to exercise the full extent of the powers granted to it pursuant to Section 14.03 of the Spring Hill Municipal Code and Chapter 13 of the Tennessee Code Annotated; and

WHEREAS, Section 8 of the Spring Hill Zoning Ordinance authorizes the Planning Commission to approve applications with conditions; and

WHEREAS, the Spring Hill Subdivision Regulations require Planning Commission consideration and determination of sidewalk location and street design for residential subdivisions; and

WHEREAS, on June 13, 2016, the Planning Commission voted to approve NCP 190-2016 with conditions in accordance with the powers granted to them by the Spring Hill Subdivision Regulations, Spring Hill Zoning Ordinance, Spring Hill Municipal Code, Tennessee Code Annotated; and

WHEREAS, the Board of Mayor and Aldermen deem it in the best interest of the City of Spring Hill that the Planning Commission's conditions of approval be modified for NCP 190-2016.

NOW, THEREFORE BE IT RESOLVED, by the City of Spring Hill Board of Mayor and Aldermen determine the conditions of approval for NCP-2016 shall be as follows:

- 1. Neighborhood concept plan approval shall remain valid for a period of three (3) years, during which time a preliminary plat application shall be submitted in accordance with the approved plan and all associated conditions.*
- 2. Modification to the neighborhood concept plan may require Planning Commission approval prior to submittal of a preliminary plat application.*
- 3. At the time of preliminary plat application, the applicant shall be assessed a fee in-lieu of street improvements to Tom Lunn Road to include the cost of milling and overlay.*
- 4. Right-of-way dedication along the property's frontage onto Tom Lunn Road shall reflect the minimum right-of-way requirements for a Collector street in the City's Major Thoroughfare Plan.*
- 5. Prior to the submittal of a preliminary plat application, the applicant shall complete the park land dedication process. Should the Board of Mayor and Aldermen decide not to accept the proposed park land dedication, the Planning Commission may require construction of a pedestrian bridge and/or other facilities in accordance with the City's Bicycle and Greenway Plan.*
- 6. Prior to the submittal of a preliminary plat application, the neighborhood concept plan shall be updated with a purpose note and to delineate the existing and Major Thoroughfare Plan*

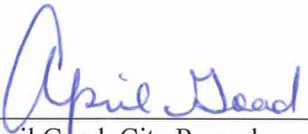
- rights-of-way from centerline.*
7. *Sidewalks shall be installed on one side of both local streets and collector streets.*
 8. *Cross section with curbs extruded shall measure 22 feet plus shoulders for local roads.*

Passed and adopted this 18th day of July, 2016.



Rick Graham, Mayor

ATTEST:



April Goad, City Recorder

LEGAL FORM APPROVED:



Patrick Carter, City Attorney

COPY

**AMENDMENT BY ALDERMAN FITTERER
ON RESOLUTION 16-105**

WHEREAS, the Board of Mayor and Aldermen deems it in the best interest of the City of Spring Hill that the Planning Commission's conditions of approval be modified for NCP 190-2016

NOW, THEREFORE BE IT RESOLVED, by the City of Spring Hill Board of Mayor and Aldermen determine the conditions of approval for NCP-2016 shall be as follows;

1. Neighborhood concept plan approval shall remain valid for a period of three (3) years, during which time a preliminary plat application shall be submitted in accordance with the approved plan and all associated conditions.
2. Modification to the neighborhood concept plan may require Planning Commission approval prior to submittal of a preliminary plat application.
3. At the time of preliminary plat application, the applicant shall be assessed a fee in-lieu of street improvements to Tom Lunn Road to include the cost of milling and overlay.
4. Right-of-way dedication along the property's frontage onto Tom Lunn Road shall reflect the minimum right-of way requirements for a Collector street in the City's Major Thoroughfare Plan.
5. Prior to the submittal of a preliminary plat application, the applicant shall complete the park land dedication process. Should the Board of Mayor and Aldermen decide not to accept the proposed park land dedication, the Planning Commission may require construction of a pedestrian bridge and/or other facilities in accordance with the City's Bicycle and Greenway Plan.
6. Prior to the submittal of a preliminary plat application, the neighborhood concept plan shall be updated with a purpose note and to delineate the existing and Major Thoroughfare Plan rights-of-way from centerline
7. Sidewalks shall be installed on one side of both local streets and collector streets.
8. Cross section with curbs included shall measure 22 feet plus shoulders for local roads.

SUBJECT: Appeal for 4355 Tom Lunn Road (NCP 190-2016)

DATE: July 5, 2016

ATTENTION: Board of Mayor and Aldermen (BOMA)

DEPARTMENT HEAD: Dara Sanders, Planning Director



STAFF MEMORANDUM

Request: On June 13, 2016, the Planning Commission approved a neighborhood concept plan application for the subject property (4355 Tom Lunn Road) with conditions of their approval requiring revisions to be incorporated at the time of preliminary plat application.

Attached to this memo are the staff report, the submitted neighborhood concept plan, the draft meeting minutes (based on the meeting recording), and the City's subdivision regulations pertaining the Planning Commission requirements being appealed.

COPY

SHAW ENTERPRISES LLC
PO BOX 8081
COLUMBIA, TN 38402
931-381-3881
6/22/2016

Spring Hill Board of Mayor and Alderman
199 Town Center Parkway
Spring Hill, TN 37174

This letter is being sent to formally start the appeal process for the Planning Commission ruling for The Cove @ Spring Hill subdivision on June 13, 2016 Agenda Item NCP190-2016.

At this meeting the Planning Commission voted to approve NCP190-2016 with the following conditions:

1. All streets would be 24 feet wide vs 22 feet wide, which is 2 feet wider than the normal requirement for ALL other subdivisions.
2. The Planning Commission also voted to require sidewalks on both sides of the street. In all previous meetings with Staff and at Planning Commission work session, we had presented sidewalks on one side only with no remarks to the contrary.

We feel the extremely low density we are proposing (1.03 units per acre) with home sites 95 feet wide, that sidewalks on one side are more than sufficient for the upscale, all brick neighborhood we are developing. Given the terrain of this project, we feel that this much additional concrete is actually a detriment to the overall appearance of the neighborhood.

Both of the items outlined above will add tremendous costs to this project, at a point in time where we were negotiating our intention to potentially dedicate 32 acres to the City of Spring Hill for park expansion.

We feel the actions of the Planning Commission on 6-13-16 were capricious and arbitrary. We also ask for your consideration to revise their decision to coincide with original Staff Recommendations to have 22 feet of pavement and sidewalks on one side only.

Thank you, in advance, for your prompt consideration of this appeal.



Randall Shaw

RESOLUTION 16-120

A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE A DEED AND A NEGATIVE PLEDGE AGREEMENT

WHEREAS, the City of Spring Hill, Tennessee (“City”) desires to facilitate the development of a permanent home to centrally locate Spring Hill Little League (“SHLL”) to serve the children and residents of Spring Hill; and

WHEREAS, the City currently leases property adjacent to the Spring Hill Elementary School (“North Complex”) from the Maury County Board of Education;

WHEREAS, the City has subleased the North Complex to SHLL over the same period of time;

WHEREAS, SHLL has improved, as well as the City, the North Complex over the period of SHLL’s occupancy with baseball fields, related facilities and improvements;

WHEREAS, General Motors (“GM”) has permitted SHLL, pursuant to a use agreement, to use GM’s baseball fields located adjacent to its Spring Hill manufacturing facility (the “South Complex”) since 2011 with SHLL responsible for all maintenance and all improvements to same;

WHEREAS, despite having two locations for baseball, SHLL owns neither and a larger, central location is desired by SHLL in order to sustain and grow the sport of baseball among children in the Spring Hill community;

WHEREAS, the City and SHLL have a vested interest in supporting families, children and recreation in the Spring Hill community;

WHEREAS, GM is expected to close the South Complex in or about the Spring of 2017 in order to accommodate a proposed extension of Saturn Parkway to Beechcroft Road by the Tennessee Department of Transportation;

WHEREAS, representatives of the City and SHLL have met to discuss solutions to the displacement of SHLL from the South Complex and the inadequacy of the North Complex to accommodate all SHLL functions;

WHEREAS, the City owns approximately 19.78 acres located off Derryberry Lane, more fully described in Exhibit A attached hereto (“Derryberry Lane property”) that it desires to serve a recreational purpose for the Spring Hill Community;

WHEREAS, the City believes it is in the manifest best interest of all involved, including the residents of Spring Hill, to support SHLL in developing a permanent home to centrally locate SHLL that shall be developed and maintained by SHLL to serve the children and residents of Spring Hill;

NOW, THEREFORE, BE IT RESOLVED, that the Board of Mayor and Aldermen authorize the Mayor to execute a deed (see Exhibit B), a negative pledge agreement (see Exhibit C) and any other necessary documents to consummate said transaction whereby SHLL shall be given the property generally described herein and more specifically described on Exhibit A, subject to certain deed restrictions as well as the negative pledge agreement.

Passed and adopted by the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee, on the 15th day of August, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick M. Carter, City Attorney

This instrument prepared by Patrick M. Carter, Attorney, 809 South Main Street, P.O. Box 1431, Columbia, Tennessee 38402-1431.

Map 44, Parcel 27.03

DEED

FOR AND IN CONSIDERATION of the sum of TEN and NO/100 (\$10.00) DOLLARS, cash in hand paid by the hereinafter named Grantee; the undersigned, THE CITY OF SPRING HILL, TENNESSEE, a Tennessee municipality, hereinafter called the Grantor, does hereby grant, transfer and convey unto _____, a/k/a SPRING HILL LITTLE LEAGUE (“Spring Hill Little League”), its successors and assigns, all right, title and interest in that certain parcel of real estate situated in Maury County, Tennessee, and being further described as follows, to-wit:

A tract of land located in the 3rd Civil District of Maury County, Tennessee. A portion of Parcel 27 shown on Tax Map 44, Tax Assessor’s Office of Maury County, Tennessee. Being a portion of the Rock Creek Development LLC property as recorded in Deed Book R1867, page 893 in the Register’s Office of Maury County, Tennessee, and being more particularly described as follows:

Beginning at an iron pin found at the northeast corner of Cornerstone Land Company as recorded in Deed Book R1837, page 147 in the Register’s Office of Maury County, Tennessee, said point also being the north west corner of the property herein described; thence with the southerly line of Alma Harris, South 82°34’11” East a distance of 1059.54’ to an iron pin found; thence with the west line of Jeremy Golden as recorded in Deed Book R1813, page 364 in the Register’s Office of Maury County, Tennessee, South 08°30’15” West a distance of 211.62’ to an iron pin found; thence South 64°33’50” East a distance of 94.48’; thence with the same, South 04°21’21” West a distance of 168.04’ to the center of Rutherford Creek; thence with the center of Rutherford Creek, South 67°03’20” West a distance of 86.77’; thence with the same, South 78°34’26” West a distance of 61.11’; thence with the same, North 87°24’50” West a distance of 59.62’; thence with the same, South 49°50’50” West a distance of 157.89’; thence with the same, South 44°46’39” West a distance of 170.86’; thence with the same, South 41°23’10” West a distance of 108.29’; thence with the same, South 53°01’11” West a distance of 107.85’; thence with the same, South 76°03’26” West a distance of 84.62’; thence with the same, South 82°56’17” West a distance of 162.03’; thence with the same, North 89°55’52” West a distance of 75.03’; thence with the same, North 38°40’43” West a distance of 82.59’; thence with the same, North 58°11’31” West a distance of 119.00’; thence with the same, North 39°38’10” West a distance of 106.90’; thence with the same, North 51°01’40” West a distance of 49.45’; thence with the same, North 66°27’43” West

a distance of 13.59' to a point on the east line of Cornerstone Land Company as recorded in Deed Book R1837, page 147 in the Register's Office of Maury County, Tennessee; thence with the east line of Cornerstone, North 04°59'02" East a distance of 240.14' to an iron pin found; thence North 08°11'49" East a distance of 527.23' to the point of beginning, having an area of 861,609 square feet, 19.78 acres.

Being the same property conveyed to The City of Spring Hill, Tennessee, a Tennessee municipality, by deed dated August 31, 2015, of record in Deed Book 2337, Page 617, in the Maury County, Tennessee Register's Office.

This property is subject to a 70' right of way easement along the west property line (approximately 767' in length) for the extension of Rice Road. This parcel is subject to any and all easements, restrictions, and/or right-of-ways either by record and/or prescription that a complete and accurate title search may reveal.

This property is further subject to a reversionary interest to The City of Spring Hill, Tennessee, if either of the following events occur: (1) Spring Hill Little League fails to initiate development of the property into the herein-described baseball park, which shall include, but not be limited to the following improvements: Quadplex with bleachers, lights, scoreboards, dugouts and parking, by January 1, 2018; (2) Spring Hill Little League fails to exist in its current form or in a substantially similar form.

Note: The above property description is based on information gathered during the course of an actual field survey conducted by O'Leary and Associates, LLC, under the direction of Allen B. O'Leary, Tennessee Registered Land Surveyor Number 1987. All iron pins set are 1/2" Rebar, with a plastic cap stamped "O'Leary, RLS 1987". All deeds referenced above are of record in the Register's Office of Maury County, Tennessee.

Same description as prior deed.

TO HAVE AND TO HOLD said above-described real estate unto the said Spring Hill Little League, its successors and/or assigns, in fee simple forever. Grantor warrants that it has a right to convey said property and that it will warrant the title to the aforesaid real property against the lawful claims of all persons claiming under it, but not further or otherwise.

POSSESSION passes with delivery of the deed, and the **TAXES** for the year 2016 will be prorated and thereafter assumed by the Grantee.

WITNESS MY HAND, this _____ day of _____, 2016.

THE CITY OF SPRING HILL, TENNESSEE

By: _____
RICK GRAHAM, Mayor

STATE OF TENNESSEE
COUNTY OF MAURY

Before me, the undersigned notary public of the state and county aforesaid, personally appeared Rick Graham, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged himself to be the Mayor of The City of Spring Hill, Tennessee, the within named bargainor, and that he as such mayor, being duly authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the such bargainor by himself as such Mayor.

WITNESS my hand and seal, this _____ day of _____, 2016.

Notary Public

My commission expires: _____

NAME AND ADDRESS OF NEW PROPERTY
OWNER

PERSON OR AGENCY RESPONSIBLE
FOR PAYMENT OF TAXES:

Spring Hill Little League

Same

NEGATIVE PLEDGE AGREEMENT

THIS NEGATIVE PLEDGE AGREEMENT, dated as of July _____, 2016, by and between _____, a/k/a Spring Hill Little League (“Pledgor”) and the City of Spring Hill, Tennessee (“Pledgee”),

WITNESSETH:

WHEREAS, the Pledgor desires to obtain from the Pledgee real property conveyed to Pledgor by Deed of record in Book _____, Page _____, Register’s Office of Maury County, Tennessee, provided Pledgor executes this Negative Pledge Agreement;

NOW, THEREFORE, in consideration of the foregoing, and intending to be legally bound hereby, the parties agree as follows:

1. Pledgor, acknowledging that the Pledgee has agreed to convey the real property referenced above to Pledgor in consideration for, among other things, the Pledgor initiates development of the property into a baseball park described in the above-referenced deed, which shall include, but not be limited to the following improvements: Quadplex with bleachers, lights, score boards, dugouts and parking, by January 1, 2018, and Pledgor continuing to exist in its current form or in a substantially form. If Pledgor fails either of the above-referenced conditions, Pledgee shall be entitled to exercise immediately any remedies or rights upon default provided to Pledgee by the Deed referenced above or by law. Additionally, Pledgor hereby agrees, in conjunction with the foregoing, that:

(a) Pledgor shall not, without the prior written consent of the Pledgee, incur, create, assume or permit to exist any indebtedness, contingent or otherwise (other than the indebtedness evidenced by the herein-referenced Deed);

(b) Pledgor shall within fifteen (15) days from the filing thereof, cause to be satisfied or bonded off to the Pledgee’s satisfaction, any lien filed against the real property, including, but not limited to, mechanic’s or materialmen’s liens, judgment creditor’s liens or tax liens.

2. In addition to any breach of any one or more of the covenants set forth in Paragraph 1 herein, the occurrence of any one or more of the following events shall constitute an event of default hereunder thereby entitling the Pledgee to exercise immediately any remedies or rights upon default provided to Pledgee by the herein-referenced deed or by law:

(a) Pledgor shall admit its inability to perform either of the conditions listed above, or shall make an assignment for the benefit of its creditors;

(b) A proceeding in bankruptcy or for the reorganization of Pledgor or the readjustment of any of its debts under the Bankruptcy Code, or under any other laws, whether state or

federal, for the relief of debtors, now or hereafter existing, shall be commenced by Pledgor or shall be commenced against Pledgor;

(c) A receiver or trustee shall be appointed for Pledgor or for any substantial part of its assets or any proceeding shall be instituted for the dissolution or the full or partial liquidation of Pledgor;

(d) Pledgor or its partners shall, without Pledgee's prior written consent, dissolve or discontinue its business or materially change the nature of its business;

(e) Pledgor will fail to pay when due all federal, state and local taxes except when the amount thereof is being contested in good faith by appropriate proceedings and with adequate reserves therefor having been set aside on the books of the Pledgor;

(f) Failure of Pledgor to insure all its assets against loss or damage by fire, theft, burglary and similar hazards or casualty in an amount at least equal to the amount of the consideration;

(g) Failure of Pledgor to carry general liability insurance in an amount at least equal to the amount of the consideration; or

(h) Failure of Pledgor to comply with all local, state and federal laws including, without limitation, the Fair Labor Standards Act and all rules and regulations of the Environmental Protection Agency where failure to comply would have a material adverse effect on Pledgor.

3. This Agreement shall inure to the benefit of and shall be binding upon the heirs, successors and assigns of the parties hereto.

4. This Agreement shall be construed in accordance with the substantive laws of the State of Tennessee.

IN WITNESS WHEREOF, the parties hereto have duly executed this Negative Pledge Agreement as of the date and year first above written.

PLEDGOR:

By: _____

Its: _____

RESOLUTION 16-84

**A RESOLUTION AUTHORIZING THE MAYOR TO ENTER INTO
A NON-BINDING MEMORANDUM OF UNDERSTANDING
BETWEEN THE CITY OF SPRING HILL, TENNESSEE,
AND SPRING HILL LITTLE LEAGUE**

WHEREAS, the City of Spring Hill, Tennessee (“City”) desires to enter into a Non-Binding Memorandum of Understanding with Spring Hill Little League (“SHLL”) (an exemplar of which is attached hereto) regarding developing a permanent home to centrally locate SHLL to serve the children and residents of Spring Hill; and

WHEREAS, the City currently leases property adjacent to the Spring Hill Elementary School (“North Complex”) from the Maury County Board of Education;

WHEREAS, the City has subleased the North Complex to SHLL over the same period of time;

WHEREAS, SHLL has improved, at its own expense, the North Complex over the period of its occupancy with baseball fields, related facilities and improvements;

WHEREAS, General Motors (“GM”) has permitted SHLL, pursuant to a use agreement, to use GM’s baseball fields located adjacent to its Spring Hill manufacturing facility (the “South Complex”) since 2011 with SHLL responsible for all maintenance and all improvements to same;

WHEREAS, despite having two locations for baseball, SHLL owns neither and a larger, central location is desired by SHLL in order to sustain and grow the sport of baseball among children in the Spring Hill community;

WHEREAS, the City and SHLL have a vested interest in supporting families, children and recreation in the Spring Hill community;

WHEREAS, GM is expected to close the South Complex in or about the Spring of 2017 in order to accommodate a proposed extension of Saturn Parkway to Beechcroft Road by the Tennessee Department of Transportation;

WHEREAS, representatives of the City and SHLL have informally met to discuss solutions to the displacement of SHLL from the South Complex and the inadequacy of the North Complex to accommodate all SHLL functions;

WHEREAS, the City owns approximately 19.78 acres located off Derryberry Lane, more fully described in Exhibit C attached hereto (“Derryberry Lane property”) that it desires to serve a recreational purpose for the Spring Hill Community;

WHEREAS, the City believes it is in the manifest best interest of all involved, including the residents of Spring Hill, to support SHLL in developing a permanent home to centrally locate SHLL that shall be developed and maintained by SHLL to serve the children and residents of Spring Hill;

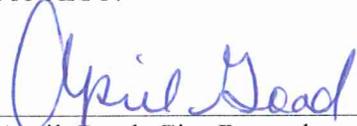
NOW, THEREFORE, BE IT RESOLVED, that the Board of Mayor and Aldermen that the Mayor is authorized to enter into and execute a Non-Binding Memorandum of Understanding on behalf of the City with SHLL in the form that is substantially similar to the exemplar attached.

Passed and adopted by the Board of Mayor and Aldermen of the City of Spring Hill, Tennessee, on the 18th day of July, 2016.



Rick Graham, Mayor

ATTEST:



April Goad, City Recorder

LEGAL FORM APPROVED:


Patrick M. Carter, City Attorney

COPY

**NON-BINDING MEMORANDUM OF UNDERSTANDING
BETWEEN
THE CITY OF SPRING HILL, TENNESSEE (“THE CITY”)
AND
SPRING HILL LITTLE LEAGUE (“SHLL”)
(COLLECTIVELY AS “PARTIES”)**

This Non-Binding Memorandum of Understanding (“MOU”) is dated _____, 2016, memorializing the good faith agreement of even date by and among the Parties hereto.

WHEREAS, the City has leased property adjacent to the Spring Hill Elementary School (“North Complex”) from the Maury County Board of Education since approximately _____. (See Lease attached as Exhibit A);

WHEREAS, the City has subleased the North Complex to SHLL over the same period of time (see Sublease attached as Exhibit B);

WHEREAS, SHLL has improved, at its own expense, the North Complex over the period of its occupancy with baseball fields, related facilities and improvements;

WHEREAS, General Motors (GM) has permitted SHLL, pursuant to a use agreement, to use GM’s baseball fields located adjacent to the Spring Hill manufacturing facility (the “South Complex”) since 2011 with SHLL responsible for all maintenance and all improvements to same;

WHEREAS, despite having two locations for baseball, SHLL owns neither and a larger, central location is desired by SHLL in order to sustain and grow the sport of baseball among children in the Spring Hill community;

WHEREAS, the City and SHLL have a vested interest in supporting families, children and recreation in the Spring Hill community;

WHEREAS, GM is expected to close the South Complex in or about the Spring of 2017 in order to accommodate a proposed extension of Saturn Parkway to Beechcroft Road by the Tennessee Department of Transportation;

WHEREAS, the Parties have met to discuss solutions to the displacement of SHLL from the South Complex and the inadequacy of the North Complex to accommodate all SHLL functions;

WHEREAS, the City owns approximately 19.78 acres located off Derryberry Lane, more fully described in Exhibit C attached hereto (“Derryberry Lane property”) that it desires to serve a recreational purpose for the Spring Hill Community;

WHEREAS, the Parties, believe it is in the manifest best interest of all involved, including the residents of Spring Hill, to support SHLL in developing a permanent home to centrally locate SHLL that shall be developed, owned and maintained by SHLL to serve the children and residents of Spring Hill;

Given the foregoing, the Parties agree as follows, to-wit:

1. This is not a binding contract and shall not be interpreted, treated and/or referred to as such.
2. SHLL agrees to a termination of its sublease with the City with regards to the North Complex and shall, therefore, abandon all improvements and associated facilities at the North Complex therewith. It is understood the City anticipates utilizing the North Complex thereafter for public recreational purposes. The City shall endeavor to time the termination of the SHLL sublease of the North Complex after SHLL has secured replacement facilities for SHLL contemplated herein.
3. The City shall deed the Derryberry Lane property to SHLL for use by SHLL to develop and construct baseball fields and related facilities thereon at the sole cost of SHLL. SHLL shall thereafter be responsible for all improvements, maintenance and expense associated with said property. Said deed shall be subject to a reversionary interest to the City if either of the following events shall occur: (1) SHLL fails to initiate development of the property into the herein-described baseball park, which shall include, but not be limited to the following improvements: Quadplex with bleachers, lights, scoreboards, dugout and parking, by January 1, 2018; (2) SHLL fails to exist in its current form in a substantially similar form.
4. It is anticipated that in order to improve the property, SHLL will need to place a first mortgage on the property. SHLL agrees that it will facilitate the City maintaining a second mortgage on the property for the value of the property at the time of deed of said property to SHLL (subordinate to first mortgage).

IN ACKNOWLEDGMENT WHEREOF, the Parties hereto have executed this non-binding MOU on the day and year first above written.

CITY OF SPRING HILL, TENNESSEE

By: _____

SPRING HILL LITTLE LEAGUE

By: _____

ORDINANCE 16-16

**AN ORDINANCE TO AMEND TITLE FIFTEEN (15), CHAPTER ONE (1)
OF THE MUNICIPAL CODE**

WHEREAS, the Board of Mayor and Aldermen for the City of Spring Hill may, pursuant to its charter and the general laws of the State of Tennessee, have right to enact and amend the Spring Hill Municipal Code. Said amendments being within the adopted purpose of promoting the public health, safety, morals, convenience, order, prosperity, and general welfare of the community; and

WHEREAS, the Board of Mayor and Aldermen desire to amend the Spring Hill Municipal Code prohibit commercial vehicles through traffic on residential streets.

NOW, THEREFORE, BE IT BE ORDAINED BY THE CITY OF SPRING HILL, TENNESSEE, BOARD OF MAYOR AND ALDERMEN, that the Spring Hill Municipal Code be and is hereby amended as follows:

15-125. Commercial Vehicle Weight Limit

It shall be unlawful for any vehicle with a gross vehicular weight in excess of 10,000 pounds to travel through any residential streets in the City of Spring Hill. The use of residential streets by commercial vehicles is permitted only when necessary service calls, deliveries or pick up services are required for residents of that street or neighborhood.

BE IT FURTHER ORDAINED, that all Ordinances in conflict herewith be, and the same hereby are, repealed. If any section, phrase, sentence or portion of this Ordinance is held invalid or unconstitutional, same shall not affect the validity of the remaining portions hereof.

Passed and adopted by the Board of Mayor and Alderman of the City of Spring Hill, Tennessee, on this 19th day of September, 2016.

Rick Graham, Mayor

ATTEST:

April Goad, City Recorder

LEGAL FORM APPROVED:

Patrick Carter, City Attorney

Passed on First Reading: (on agenda August 15, 2016)

Passed on Second Reading: